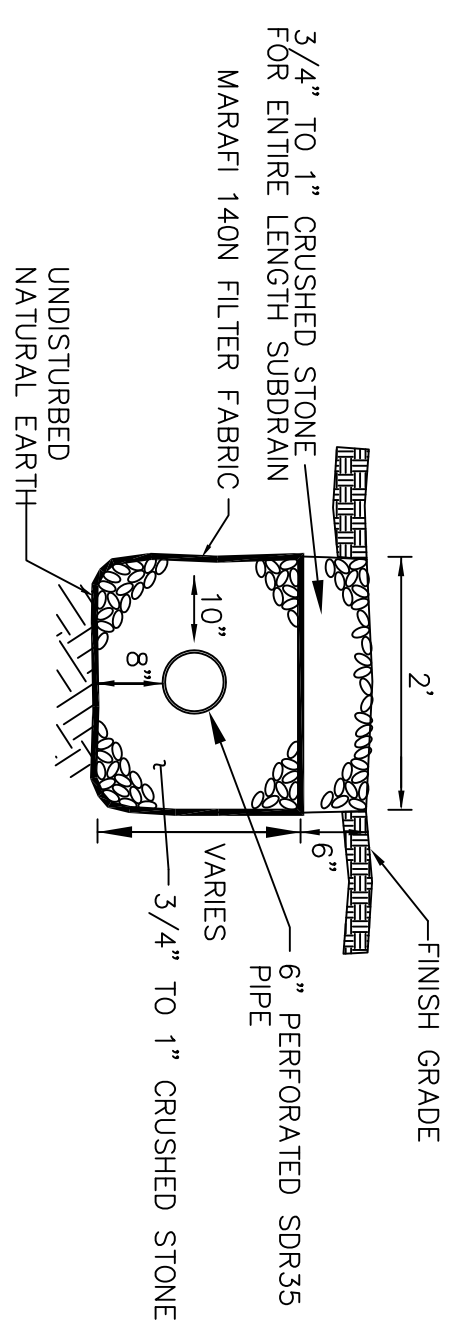
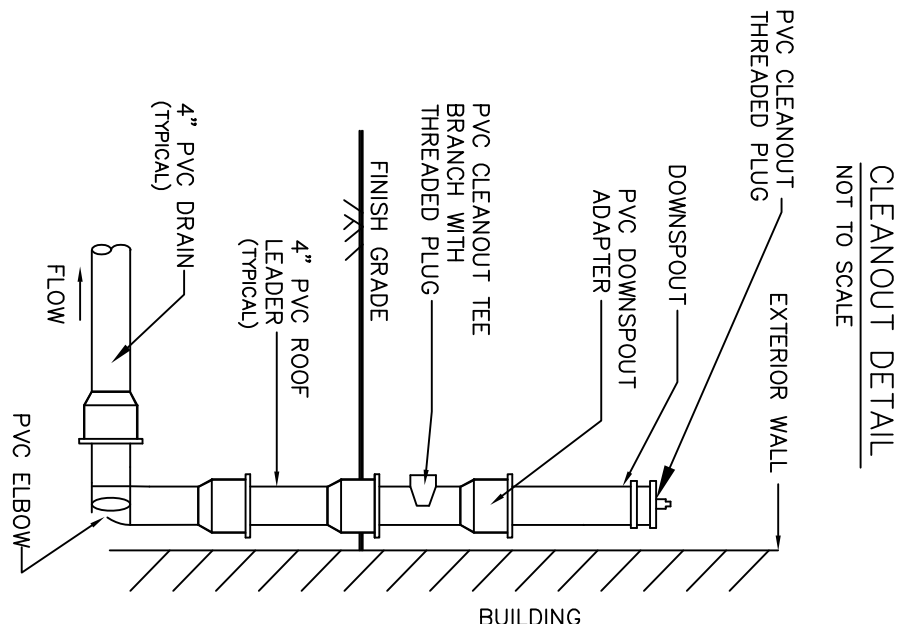
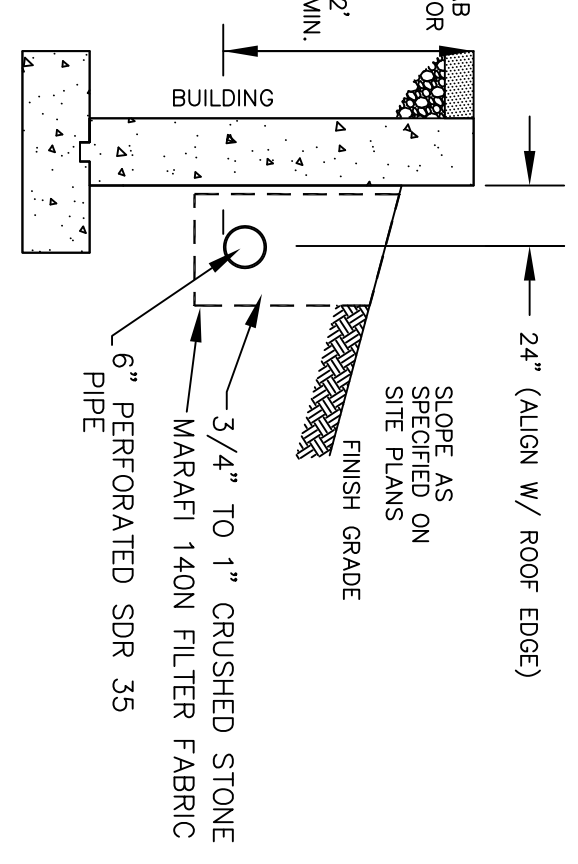


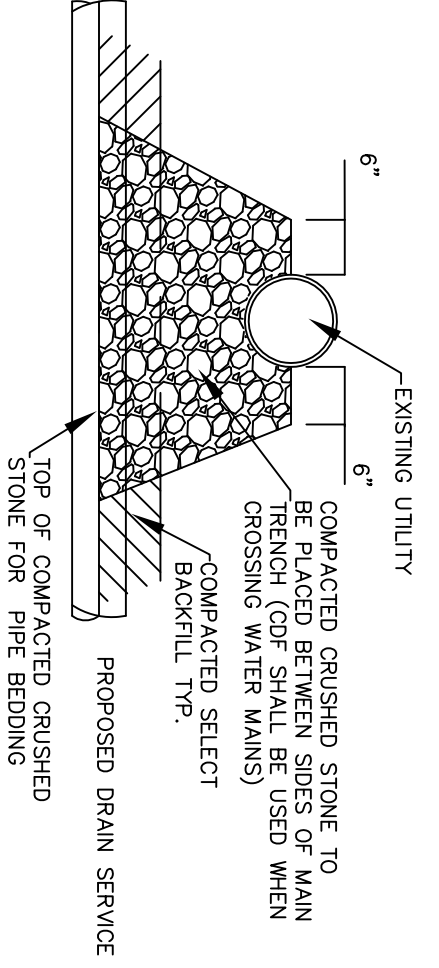
CRUSHED STONE TRENCH
NOT TO SCALE



- NOTES:
- 1) CRUSHED STONE TRENCH TO EXTEND ALONG NORTHERLY, WESTERLY AND EASTERLY DIRECTIONS.
 - 2) CRUSHED STONE TRENCH TO END ALONG SOUTHERLY SIDE OF STRUCTURE AND EXTEND TO DAYLIGHT AND SHED FLOW OVER EXISTING GRADE
 - 3) PIPE INVERT TO BE LOCATED A MINIMUM OF 2' BELOW STRUCTURE FLOOR ELEVATION
 - 4) BACKFILL TO BE NATIVE SOIL FREE OF LARGE STONES, BOULDERS, STUMPS, ORGANIC MATERIALS AND OTHER UNDESIRABLE MATERIALS. 3/4" CRUSHED STONE SHALL BE USED WHERE NECESSARY FOR BACKFILLING



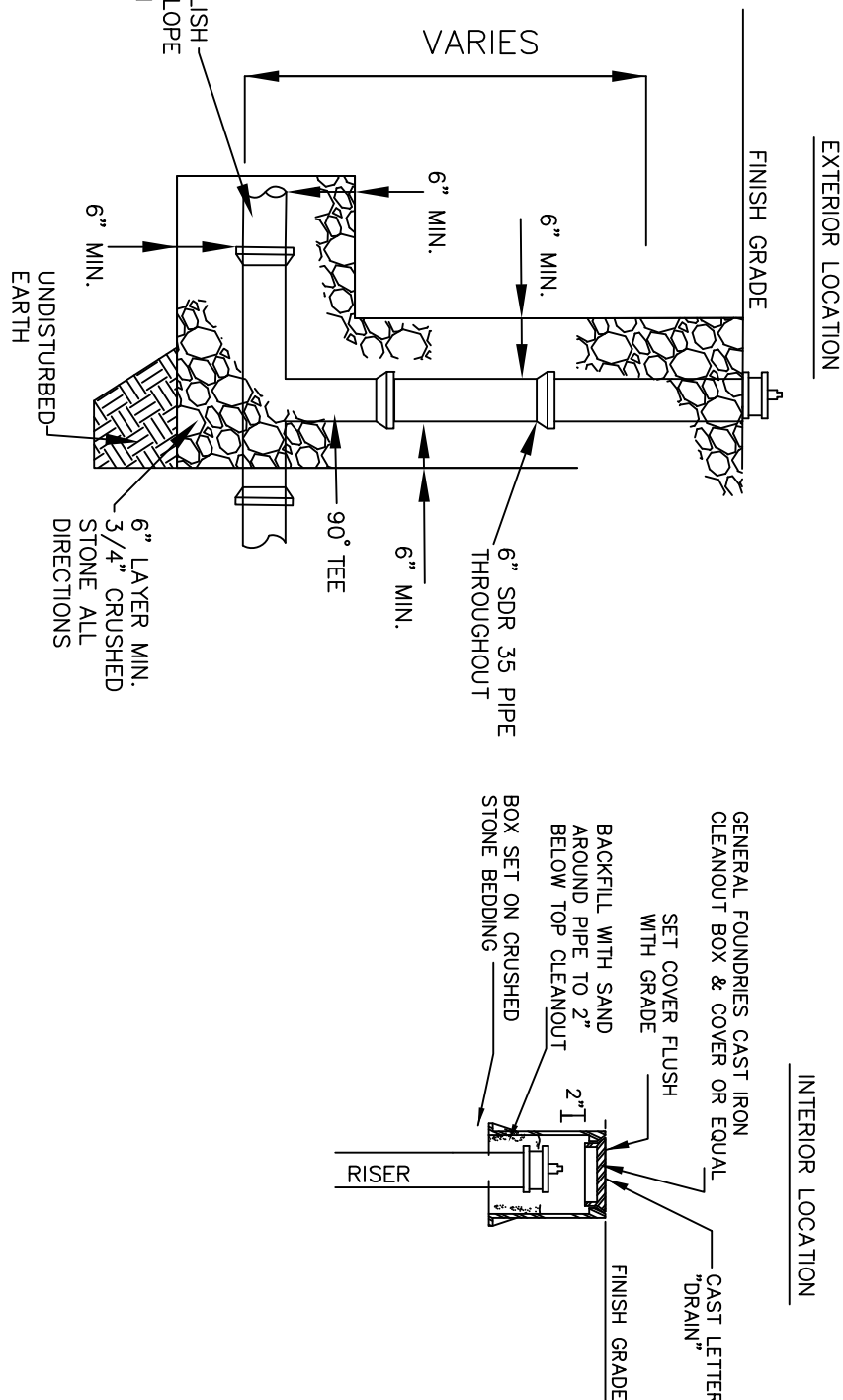
UTILITY CROSSING DETAIL
N.T.S.



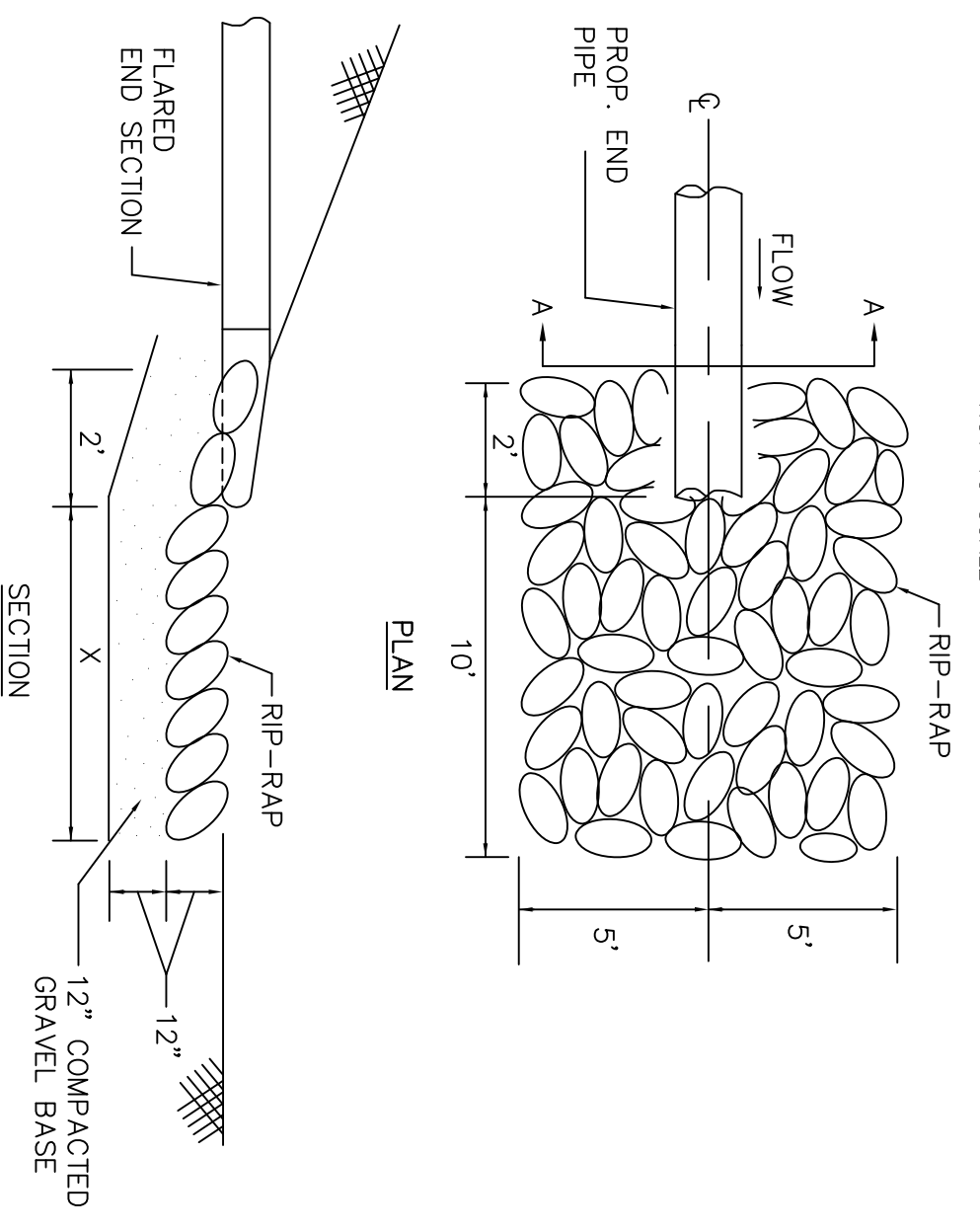
REVISION:

NO.	DATE	DESCRIPTION	BY

PROPOSED CHIMNEY DROP
N.T.S.

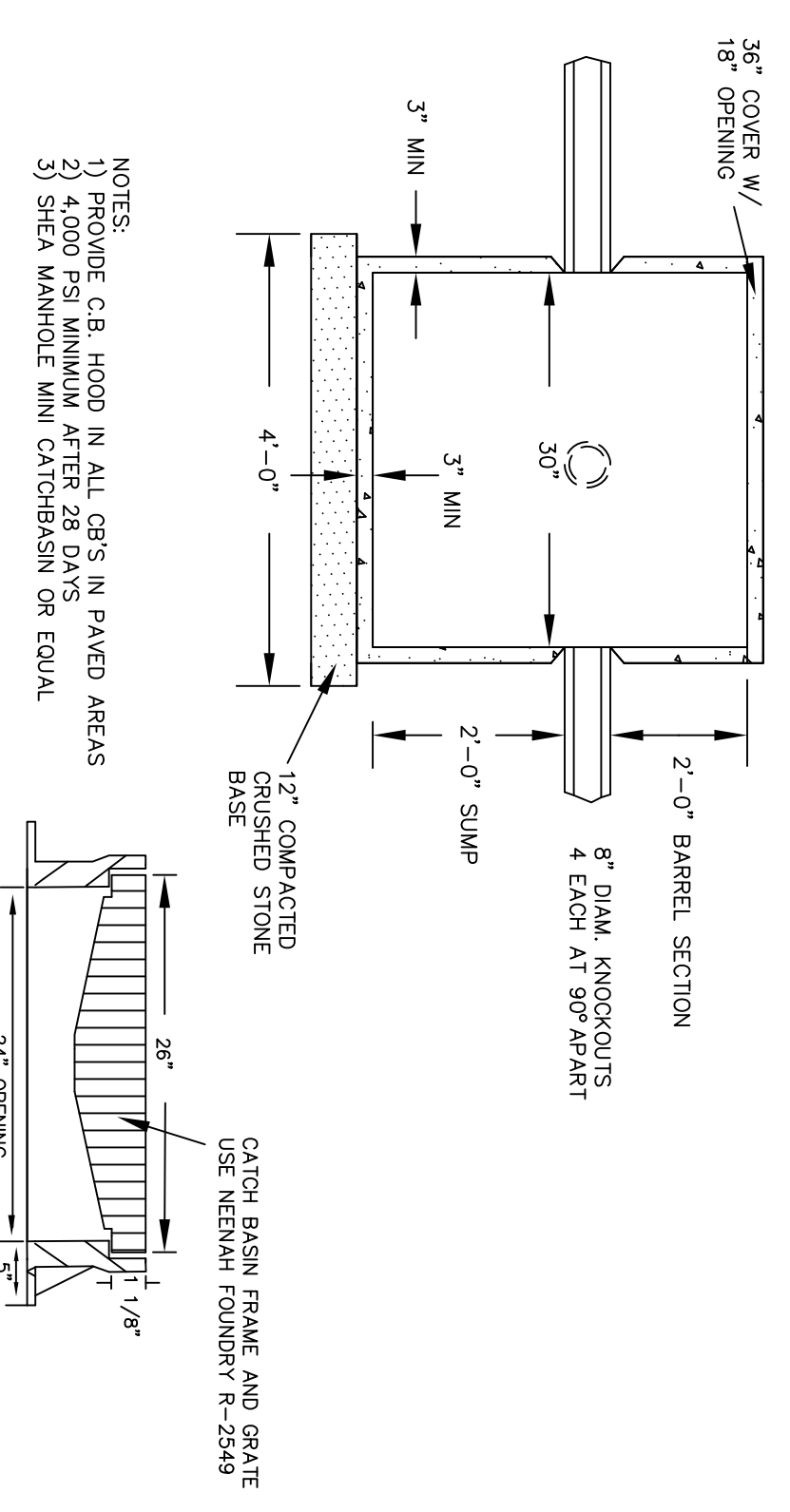


RIP-RAP AT OUTLET
NOT TO SCALE



Each stone shall weigh not less than 50 pounds nor more than 125 pounds, and at least 75% of the volume shall consist of stones weighing not less than 75 pounds each. The remainder of the stones shall be so graded that when placed with the larger stones, the entire mass will be compact.

MINI CATCH BASIN
N.T.S.



- NOTES:
- 1) USE C.B. HOOD IN ALL CFS. IN PAVED AREAS
 - 2) 4,000 PSI MINIMUM AFTER 28 DAYS
 - 3) SHEET MANHOLE MINI CATCHBASIN OR EQUAL

NOTES:

- 1) ELEVATIONS AND LOCATIONS SHOWN HEREON ARE NOT THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITIES
- 2) ELEVATIONS SHOWN REFER TO AN ASSUMED ELEVATION BASE
- 3) ALL GRADING IS TO BE PERFORMED IN A MANNER CONSISTENT WITH INFORMATION SHOWN ON THESE PLANS IN ORDER TO LIMIT IMPACTS TO ADJUTING HOMEOWNERS
- 4) ANY REVISION OR ADDITION, HORIZONTAL OR VERTICAL, MUST BE APPROVED IN WRITING BY THIS OFFICE. ANY CONDITIONS ENCOUNTERED DURING CONSTRUCTION DIFFERING FROM THOSE SHOWN OR REPORTED HEREON SHALL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO THE START OF CONSTRUCTION ACTIVITIES
- 5) AS OF JANUARY 1, 2009, ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 81A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. TRENCH EXCAVATION PERMIT REQUIRED FOR ALL TRENCHES

GENERAL NOTES:

- 1) ALL BUILDING SEWER OR DRAIN SERVICE CONNECTIONS, MATERIALS, FITTINGS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH APPLICABLE BUILDING OR PLUMBING CODES AND ALL TOWN OF SHERBORN REGULATIONS
- 2) IN ACCORDANCE WITH M.G.L. CHAPTER 82, SECTION 40, INCLUDING ALL AMENDMENTS, ALL CONTRACTORS, BUILDERS AND DRAIN LAYERS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL "DIG-SAFE"
- 3) THIS PLAN SHOULD NOT BE CONSIDERED AS A COMPLETE SURVEY OF SUBSURFACE STRUCTURES OR UTILITIES. THE OWNER/CONTRACTOR/DRAIN LAYER IS RESPONSIBLE FOR IDENTIFYING ANY SUCH FEATURES PRIOR TO THE START OF CONSTRUCTION ACTIVITIES
- 4) ANY DISCREPANCIES SHOULD BE REPORTED TO THE DESIGNER FOR CONSIDERATION PRIOR TO THE START OF CONSTRUCTION
- 5) THE DESIGNER IS NOT RESPONSIBLE FOR ANY COSTS FOR DELAYS ASSOCIATED WITH THE EXISTENCE OF SUCH FEATURES
- 6) ALL GRADING SHALL BE DONE IN A MANNER TO PREVENT ADVERSE IMPACTS TO ADJUTING PROPERTY OWNERS. LAND ALTERING ACTIVITIES SHALL BE MINIMIZED WHEREVER POSSIBLE

UTILITY NOTES:

- 1) ALL SITE WORK SHALL MEET OR EXCEED THE SPECIFICATIONS PREPARED FOR THIS PROJECT AND SHALL COMPLY WITH ALL APPLICABLE CODES
- 2) POSITIVE DRAINAGE FLOW AS REQUIRED
- 3) THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS. THE CONTRACTOR SHALL MAKE ALL NOTIFICATIONS REQUIRED FOR INSPECTIONS OF ELEMENTS OF THE PROPOSED SERVICE. TIGHT CONNECTIONS SHALL BE MADE WITHOUT INTERRUPTION TO SERVICE
- 4) EXTREME CARE SHALL BE TAKEN IN CONNECTING TO EXISTING SEWER SYSTEM WITH THE PROPOSED SERVICE. TIGHT CONNECTIONS SHALL BE MADE WITHOUT INTERRUPTION TO SERVICE
- 5) AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ADJUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURBING OR PAVEMENT SHALL BE PROTECTED FROM DAMAGE BY THE CONSTRUCTION. ALL CURBING AND PAVEMENT SHALL BE REPAIRED TO ORIGINAL CONDITION AS SOON AS POSSIBLE
- 6) PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PROTECT DRAIN. ANY DISCREPANCIES NOT ALLOWING PITCH SHALL BE REPORTED TO THE DESIGNERS PRIOR TO COMPLETING WORK
- 7) CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES WILL BE RESTORED TO ORIGINAL CONDITION AS SOON AS POSSIBLE
- 8) ALL AREAS DISTURBED BY THE CONTRACTOR BEYOND THE PROJECT LIMITS SHALL BE RESTORED AT NO ADDITIONAL COST TO THE OWNERS
- 9) THE CONTRACTOR SHALL NOT STORE ANY APPARATUS, MATERIALS, SUPPLIES OR EQUIPMENT WITHIN 100 FEET OF A WETLANDS RESOURCE AREA
- 10) IF MATERIAL IS LOOSENEED OR REMOVED BEYOND THE NORMAL TRENCH WIDTH THE CONTRACTOR WILL BE REQUIRED TO PROVIDE CRUSHED STONE FOR THE FULL WIDTH OF THE TRENCH AT NO ADDITIONAL COST TO THE OWNER
- 11) NO CONSTRUCTION WORK SHALL BE PERFORMED WITHIN 100' OF A WETLANDS RESOURCE AREA WITHOUT PRIOR APPROVAL OF THE TOWN OF SHERBORN CONSERVATION COMMISSION
- 12) PROPOSED 6" PVC DRAIN SYSTEM IS DESIGNED FOR TO ACCEPT INTERMITTENT SURFACE AND SUBSURFACE FLOW ONLY. THE SYSTEM SHALL BE KEPT FREE OF ADDITIONAL FLOWS AND ANY MATERIALS THAT MAY COLLECT AND CLOG THE PROPOSED DRAIN LINE

SHEET 2 OF 2

<p>"WILDSTAR FARM" 16 NASON HILL LANE SHERBORN MA</p>		<p>J.D. MARQUEDANT & ASSOCIATES INC. LAND SURVEYING 6 WALCOTT STREET HOPKINTON MA PHONE: 508-435-4145 FAX: 508-435-0157</p>	
<p>PROPOSED CONDITIONS PLAN OF LAND</p>		<p>OWNER : MICHAEL NEWMAN 16 NASON HILL LANE SHERBORN MA</p>	
<p>PREPARED FOR: MICHAEL NEWMAN 16 NASON HILL LANE SHERBORN MA</p>		<p>SCALE: AS SHOWN DATE: OCT. 13, 2017 DRAWN BY: CHECKED BY:</p>	