

JAMES T. GUARINO CONSULTING

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Architect's Project No. 17001.00
Wildstar Farm Equestrian Facility
16 Nason Hill Ln.
Sherborn, MA. 01770

Architect's Field Report to the Building Commissioner, Town of Sherborn

This report is a summary of the architect's site observations to review the progress of construction and to determine if the work is in compliance with the contract documents and the Massachusetts State Building Code 8th Edition. Any deviations from the Building Permit Drawings dated December 27, 2017 are noted within this report for record. These changes were previously reviewed with the Building Commissioner before being executed.

Site Observation August 10, 2018:

Work was progressing on the 2 hour fire-rated wall assembly between the apartment and hayloft. Joists and penetrations are being sealed with fire-safing caulk.



Site Observation August 10, 2018:



The 2 hour fire-rated wall assembly between the apartment and riding arena under construction (above). The exterior cladding ready for painting. Hay loft rear exit awaiting stairs. Manure trailer roof has been constructed (left) .

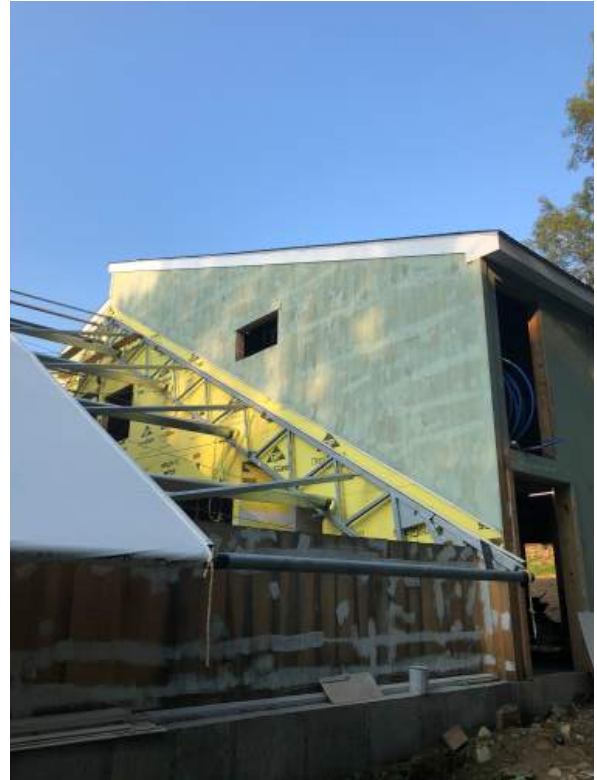
Site Observation August 10, 2018:



The 2 hour fire-rated floor / ceiling assembly between the apartment and tack room under construction.



Site Observation August 10, 2018:



Interior finishes and cladding are being installed over rated assemblies.

Site Observation August 28, 2018:



Mechanical ductwork is being installed at tack room.



Plumbing and electrical rough-in ongoing at apartment.



Apartment exterior doors and windows are being installed.



Site Observation August 28, 2018:



Storefront and windows at apartment have not been installed.



Apartment interior partitions have been framed.

Site Observation September 16, 2018:



Apartment interior 2-hour rated partition is being completed on the apartment side. The perpendicular partitions are being held away from the two-layers of gypsum board.

Site Observation September 16, 2018:



The contractor and owner requested a deviation from the original design drawings at the tack room north wall. The plumbing to apartment has been installed and to avoid penetrations in the fire-rated enclosures, a rated soffit was proposed around the utilities. This was reviewed with the building commissioner, who requested interior vertical fire-blocking partitions within the soffit at 8'-0" o.c. This proposal still maintains the required continuity of the fire separation.

The mechanical and fire-suppression systems are being installed at the loft space in the apartment (below).



Site Observation October 5, 2018:



Interior drywall and veneer plastering at tack room, office and toilet / laundry - ongoing.

Apartment interior 2-hour rated partition is being completed on the apartment side. The perpendicular partitions are being held away from the two-layers of gypsum board. Ductwork and other building systems are contained within the soffit.



NFPA 13D system is being installed in apartment.



Site Observation October 5, 2018:



Interior drywall / 2-hour fire separation at underside of apartment egress deck - ongoing.



All components of 2-hour fire rated assembly at tack room are in place. This view is at door opening. Decking is being installed above the EPDM waterproofing membrane / sleepers at apartment egress deck (below).

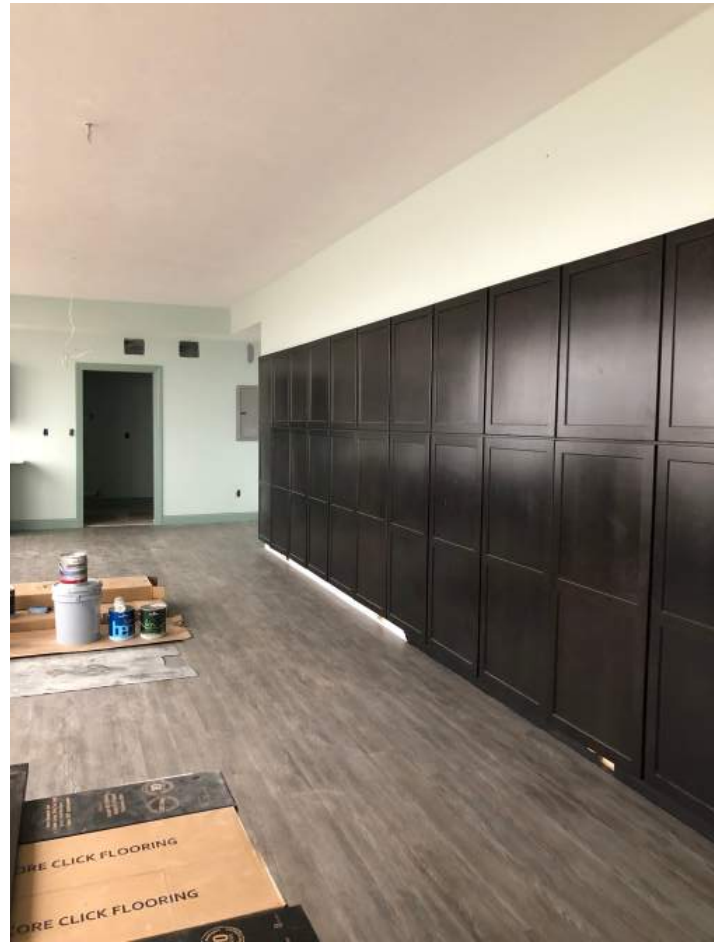


Site Observation November 3, 2018:



Exterior building enclosure has been completed with the exception of aluminum storefront systems at tack room and office. The owner requested that the wood shiplap siding shown on the contract documents be replaced with cementitious stucco instead. This occurs at the arena side of the 2 hour fire enclosure. This does not effect the continuity of the UL rating. The change is indicated on the sketches attached to this report.

Site Observation November 3, 2018:



Focus is being placed on the finishes in the lower level barn area. Apartment work is on hold.



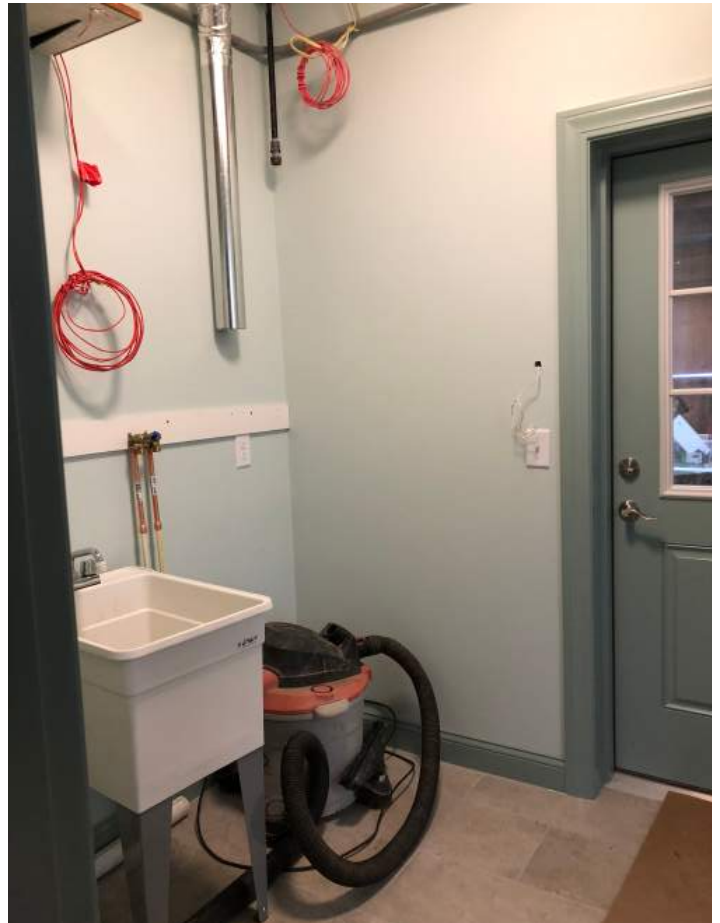
Site Observation November 17, 2018:



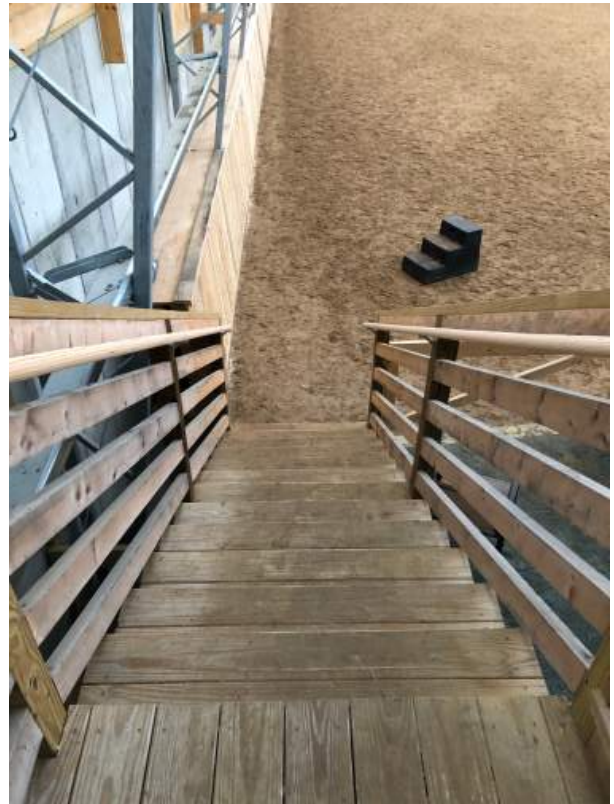
The nosings have been added to the arena egress stair to the barn. The ramp and all stairs are awaiting installation of the handrails.

The toilet room and laundry room fixtures and finishes have been installed. The grab rails and toilet accessories are awaiting installation. The owner has decided that the mechanical equipment will be left exposed-to-view for easy access and maintenance.

The owner reported that obtaining the 2-hour rated glass for the apartment to arena windows would be difficult and expensive. He proposed that we look into alternative means for satisfying the code. We determined that a 1.5 hour rated shutter door with fusible link would meet the code requirements (per Table 716.5 of the IBC) for an opening, whereas a window would need to be 2-hour rated. This was reviewed with the building commissioner and architect and accepted. The revision sketches and product data follow in the appendix.



Site Observation December 2, 2018:



The handrails are being installed on the accessible ramp and egress stair from arena to barn. The lower handrail extensions are being omitted, as the owner stated they are a safety hazard to equestrian activities. He was concerned with ropes becoming caught on the protrusions. This was discussed with the building commissioner prior to their installation.

Site Observation December 15, 2018:



The handrail installation has been completed on the exterior egress stairs and arena egress stair. They have also been completed on the ramp. The aluminum storefront frames have been completed at the tack room and office.

Site Observation December 29, 2018:



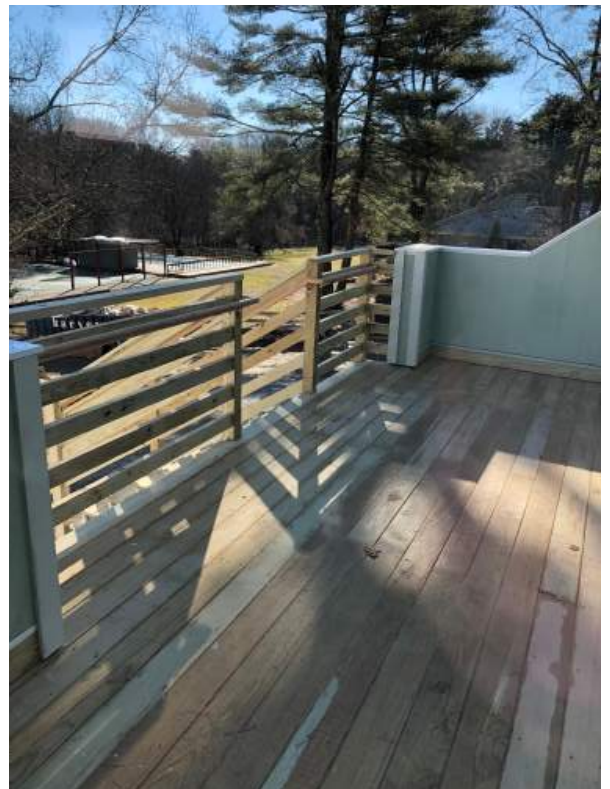
The glazing has been installed in the lower level aluminum storefront frames. Blocking has been installed for the fire shutter doors covering the windows at apartment (left). The grab rails have been installed at the accessible water closet (above) Drywall work is starting at the apartment (below).



Site Observation December 29, 2018:



The B label doors are being installed at apartment and hay loft to exterior stairs.



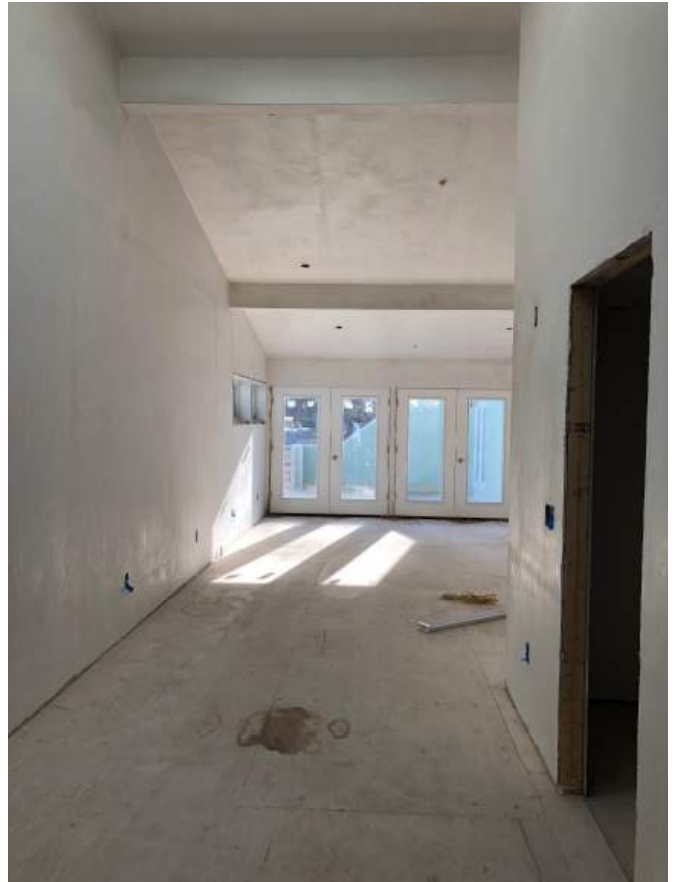
The guardrail and handrails have been installed at apartment deck and egress stair. Handrails have also been completed at apartment egress stair on east end.

Site Observation December 29, 2018:



The guardrail and handrails have been installed at apartment deck and egress stair. The area was graded and large retaining wall blocks installed. Guardrail at edge of retaining wall needs to be installed.

The south end of the arena and second accessible means of egress area has not been graded.

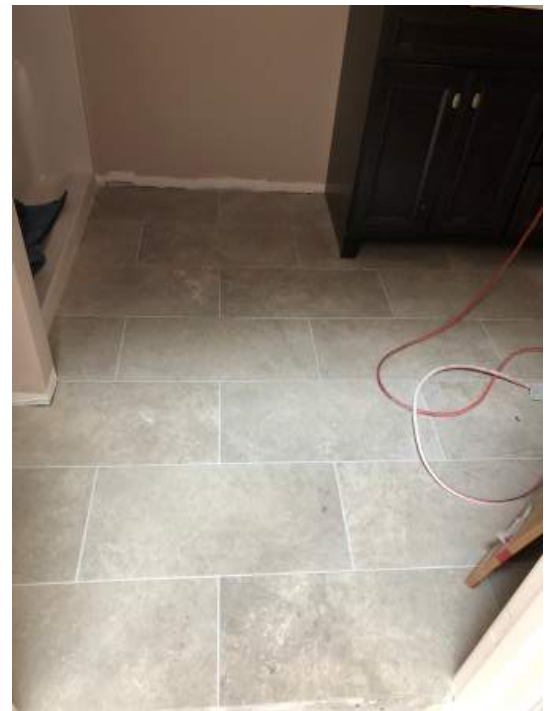
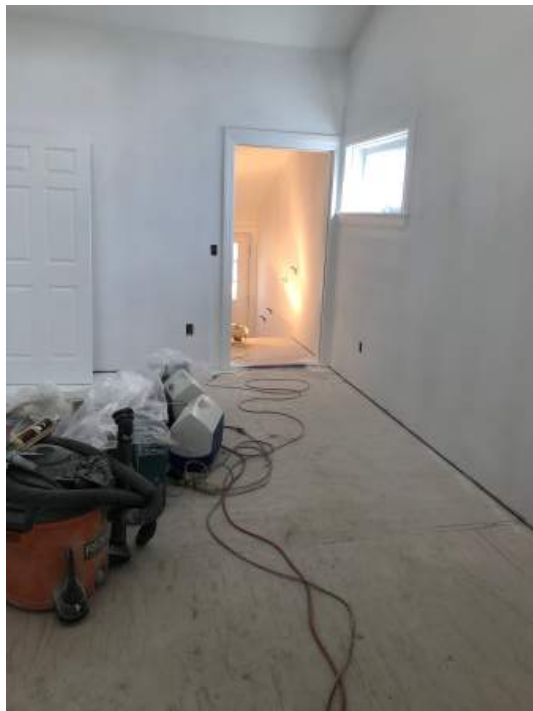


Veneer plastering is ongoing at apartment and rear egress stair.

Site Observation January 26, 2019



Site Observation February 6, 2019

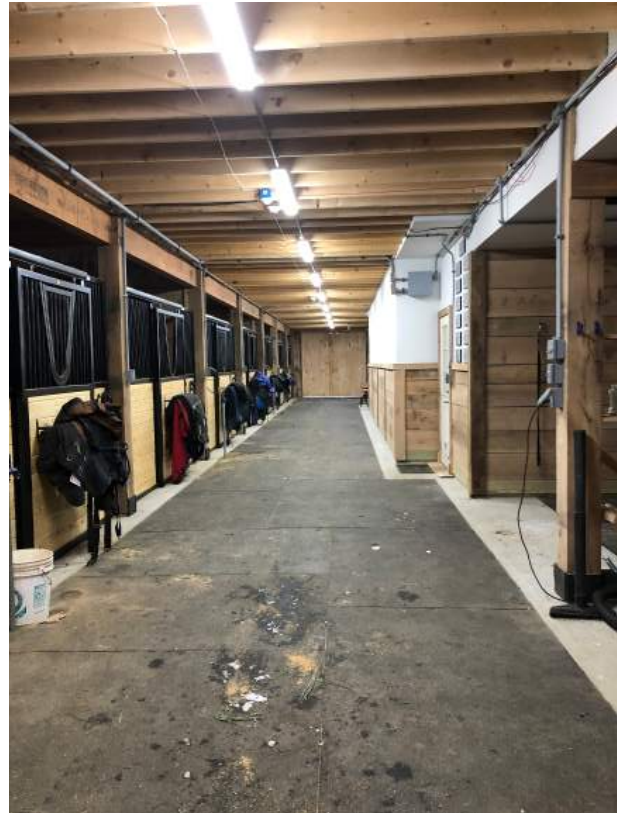


Apartment cabinets installed and apartment painting beginning.

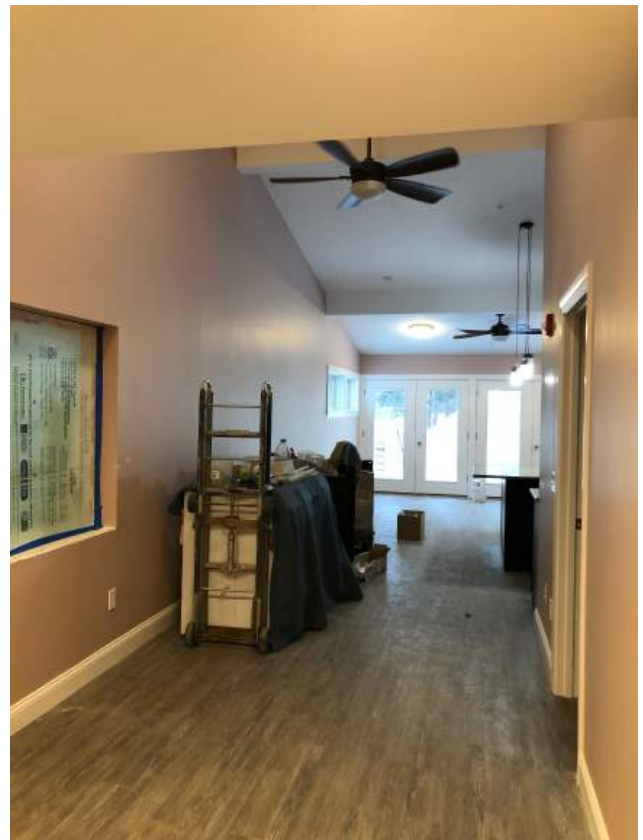
Painting and installation of porcelain pavers complete in apartment.



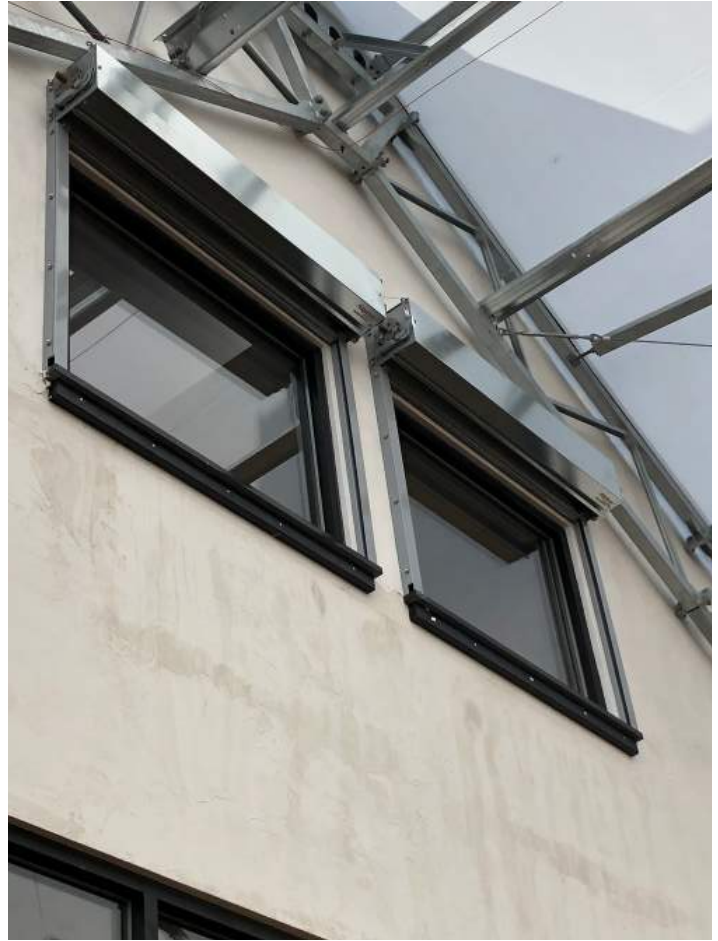
Barn is occupied. Permanent lighting fixtures have been installed in aisle.



Barn is occupied. Permanent lighting fixtures installed in aisle.



Apartment finishes complete. Awaiting installation of windows to arena and fire shutter doors.



The non-rated windows and fire shutter from apartment to arena have been completed.



The north accessible means of egress system was reviewed onsite with the building commissioner, owner, and architect. An accessible sloped walk was planned through the manure area with a slope less than 1:20. After final measurements were taken of the required walkway width and width of manure trailer, it was determined that the walk would not fit. An alternate accessible egress was discussed with the building commissioner and the result was a new sliding door at the west end of the existing barn that contains a man door with push bar. The maximum travel distances were verified to be in compliance. The revision sketches are attached in the appendix. The north exit will be used for elevated access to the manure trailer.

A portable access ladder was built to serve the mechanical loft in the apartment. The apartment has been completed and a temporary certificate of occupancy issued until the accessible means of egress are completed at the south end of the arena and west sliding door.





Site Observation May 18, 2019



Site Observation July 20, 2019



The existing west sliding doors were measured and evaluated for the accessible means of egress. A new sliding door with accessible man door was designed such that there would still be a 34" clear opening when the sliding door was partially-closed and the man door obstructed.



The new sliding door with accessible man door has been installed. A new exit sign has also been installed. The critical dimension for clear opening with sliding door partially-opened was verified



The new sliding door partially-opened with clear 34" dimension at left, and accessible man door positioned against limit of the existing barn aperture.



The accessible means of egress at the south end of the arena has been completed. The architect has conducted the final inspection and determined the project is substantially complete and ready for final inspection for the certificate of occupancy.



Appendix:

REVISION SKETCHES:

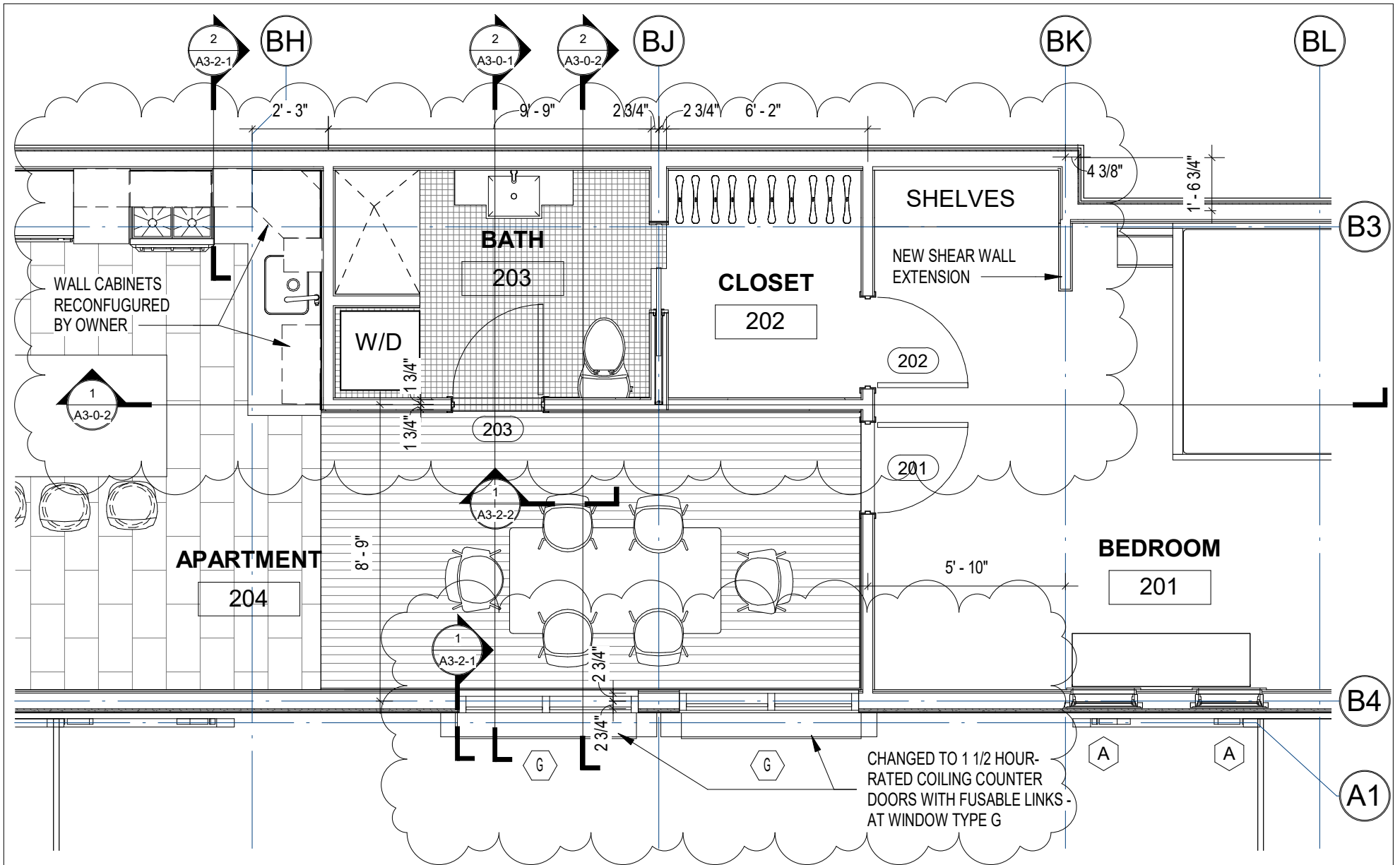
SKA-7: A1-0-3 PLAN CHANGES AT APARTMENT.
SKA-8: A2-0-2 PARTIAL SOUTH ELEVATION BARN OUTER - 1/4" REVISED.
SKA-9: 1/A3-2-1 REVISIONS
SKA-10 AND SKA 11 - WITHDRAWN
SKA-12: A0-0-2 ALTERNATE MEANS OF ACCESSIBLE EGRESS
SKA-13: ENLARGED PLAN AT ALTERNATE EGRESS DOOR
SKA-14: ELEVATION AT ALTERNATE EGRESS DOOR
SKA-15: SECTION THROUGH NEW SLIDING DOOR

PRODUCT DATA:

OVERHEAD DOOR 640 / 641 SERIES PRODUCT DATA
OVERHEAD DOOR SHOP DRAWING
CONTRACTOR'S SHOP DRAWING FOR INSTALLATION OF OVERHEAD DOORS
AT APARTMENT TO ARENA WINDOWS.

OTHER:

ARCHITECT'S FINAL CONSTRUCTION CONTROL AFFIDAVIT
ARCHITECT'S CERTIFICATE OF SUBSTANTIAL COMPLETION



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SKETCH NUMBER: SKA-7
 SHEET REF: A103 PLAN CHANGES AT APARTMENT



Wildstar Farm

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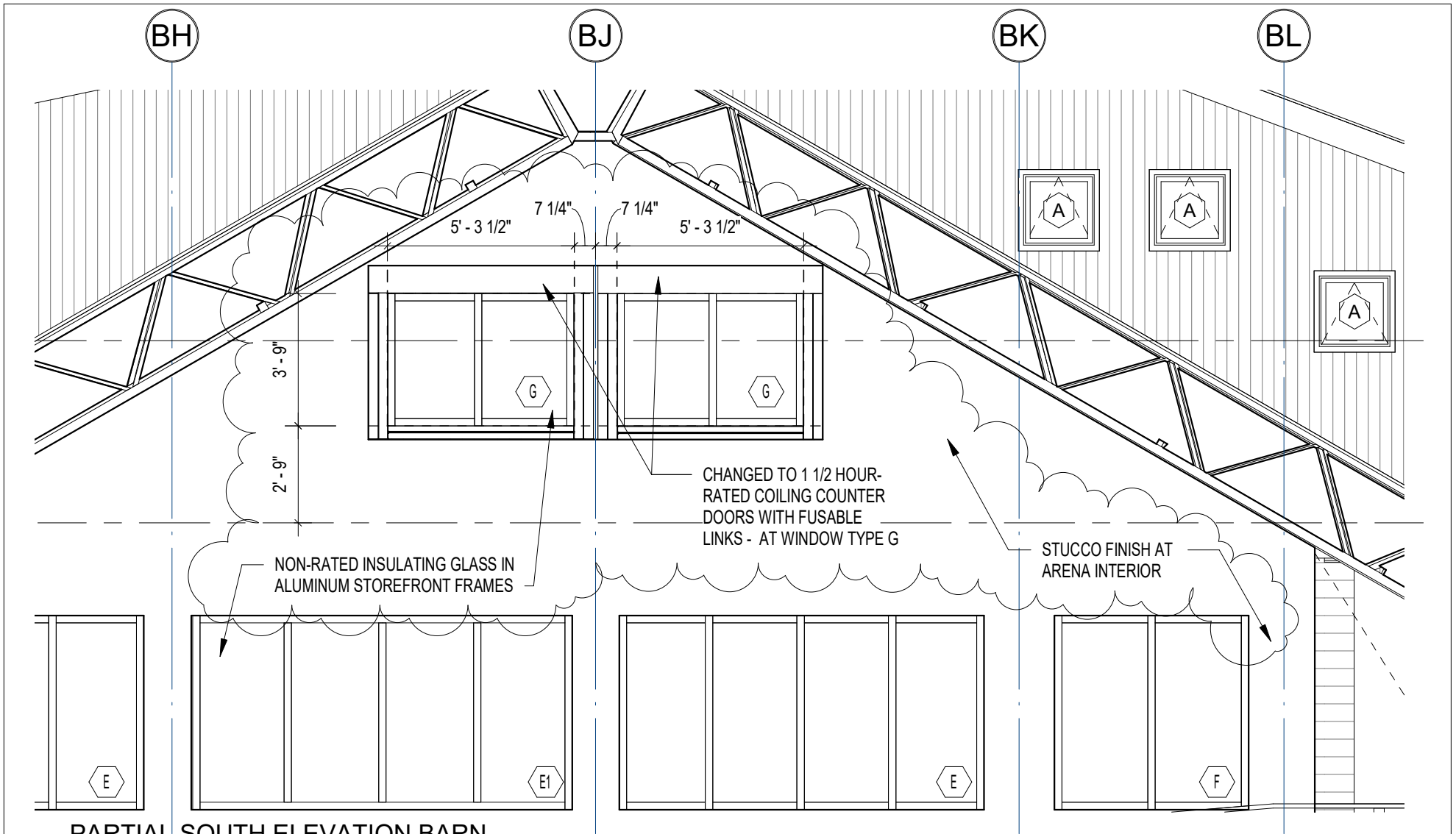
Michael Newman and Polly Kornblith

Scale: 1/4" = 1'-0"

Drawn By: Author

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Date: 5/15/2019 9:25:32 PM



PARTIAL SOUTH ELEVATION BARN -

OUTER -1/4" REVISED

1

1/4" = 1'-0"

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SKETCH NUMBER: SKA-8
 SHEET REF: A2-0-2



Wildstar Farm

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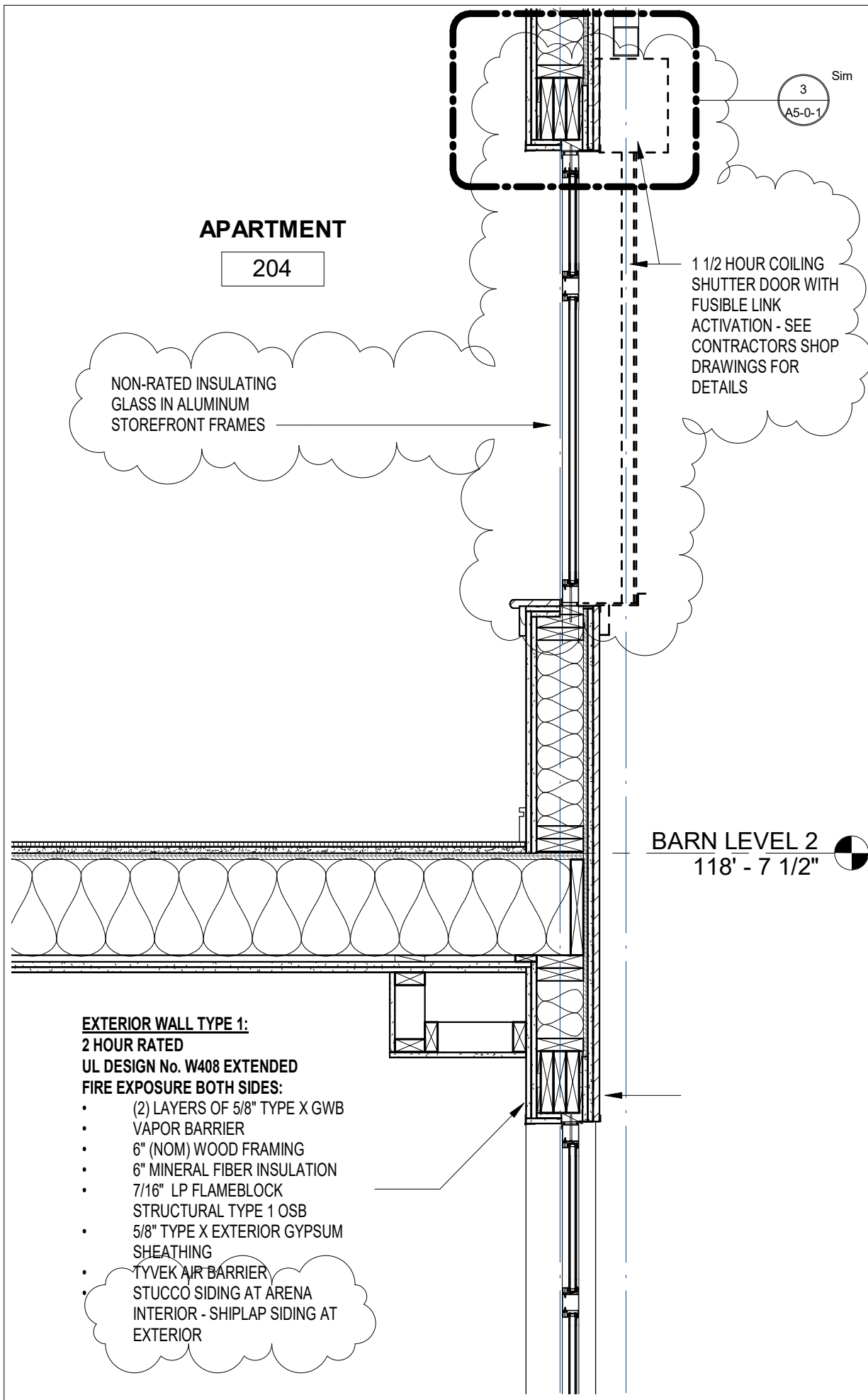
Michael Newman and Polly Kornblith

Scale: 1/4" = 1'-0"

Drawn By: JTG

Job No.: 17001.00

Date: 5/15/2019 9:19:50 PM



APARTMENT

204

NON-RATED INSULATING
GLASS IN ALUMINUM
STOREFRONT FRAMES

1 1/2 HOUR COILING
SHUTTER DOOR WITH
FUSIBLE LINK
ACTIVATION - SEE
CONTRACTORS SHOP
DRAWINGS FOR
DETAILS

3
A5-0-1
Sim

BARN LEVEL 2
118' - 7 1/2"

- EXTERIOR WALL TYPE 1:**
2 HOUR RATED
UL DESIGN No. W408 EXTENDED
FIRE EXPOSURE BOTH SIDES:
- (2) LAYERS OF 5/8" TYPE X GWB
 - VAPOR BARRIER
 - 6" (NOM) WOOD FRAMING
 - 6" MINERAL FIBER INSULATION
 - 7/16" LP FLAMEBLOCK
 - STRUCTURAL TYPE 1 OSB
 - 5/8" TYPE X EXTERIOR GYPSUM SHEATHING
 - TYVEK AIR BARRIER
 - STUCCO SIDING AT ARENA
 - INTERIOR - SHIPLAP SIDING AT EXTERIOR

Scale: 3/4" = 1'-0"
Drawn By: JTG
Job No.: 17001.00
Date: 5/15/2019 9:57:22 PM

Wildstar Farm Equestrian Facility
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SKETCH NUMBER: SKA-9
SHEET REF: 1/A3-2-1

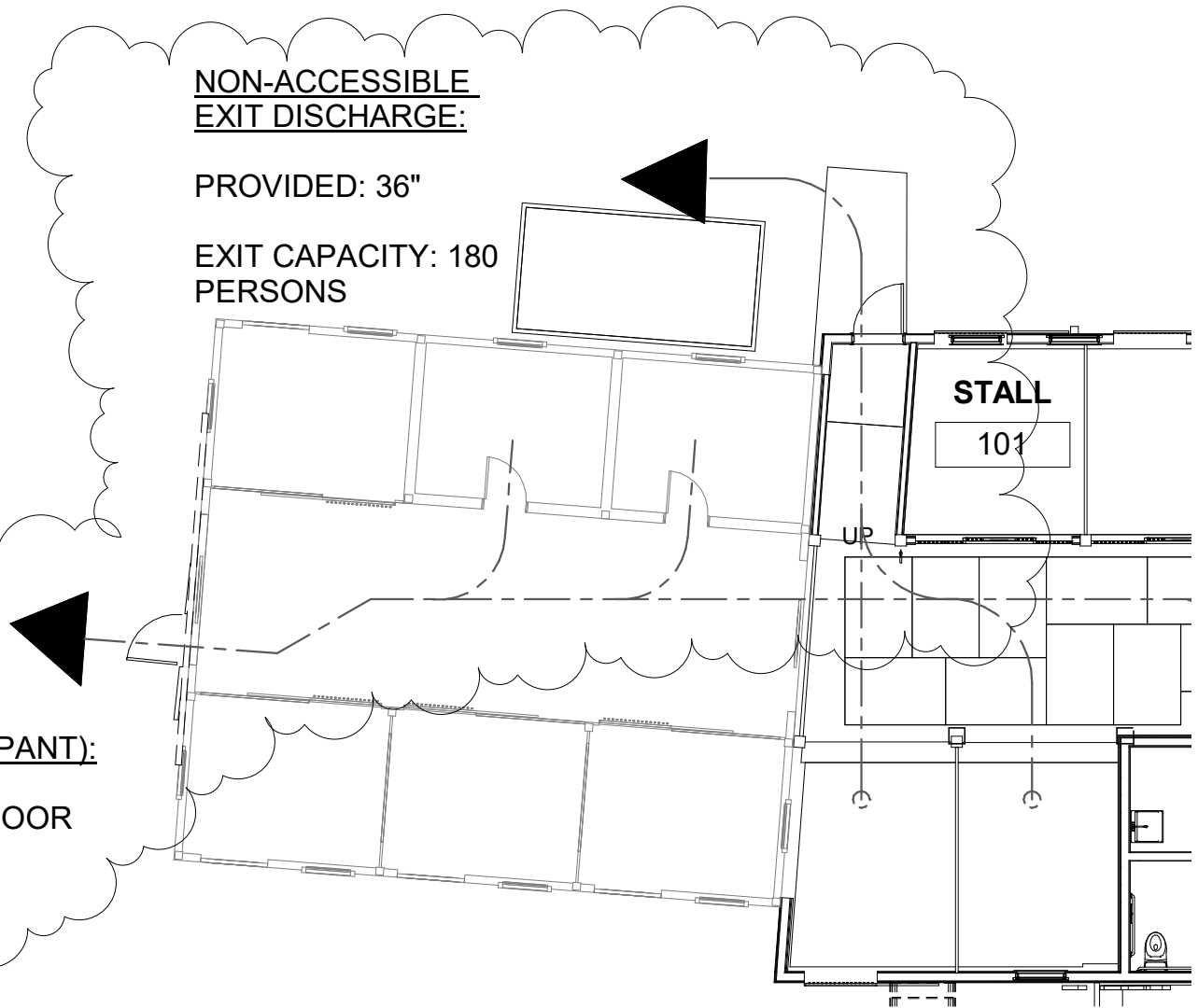
NON-ACCESSIBLE
EXIT DISCHARGE:

PROVIDED: 36"

EXIT CAPACITY: 180
PERSONS

ACCESSIBLE MEANS OF EGRESS
EXIT DISCHARGE (0.2" PER OCCUPANT):

36" MAN DOOR IN SLIDING BARN DOOR
PROVIDED: 36"
EXIT CAPACITY: 180 PERSONS



① CODE LEVEL 1 - REVISED
3/32" = 1'-0"

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SKETCH NUMBER: SKA-12
SHEET REF: A0-0-2 - ALTERNATIVE MEANS OF
ACCESSIBLE EGRESS



Wildstar Farm Equestrian Facility

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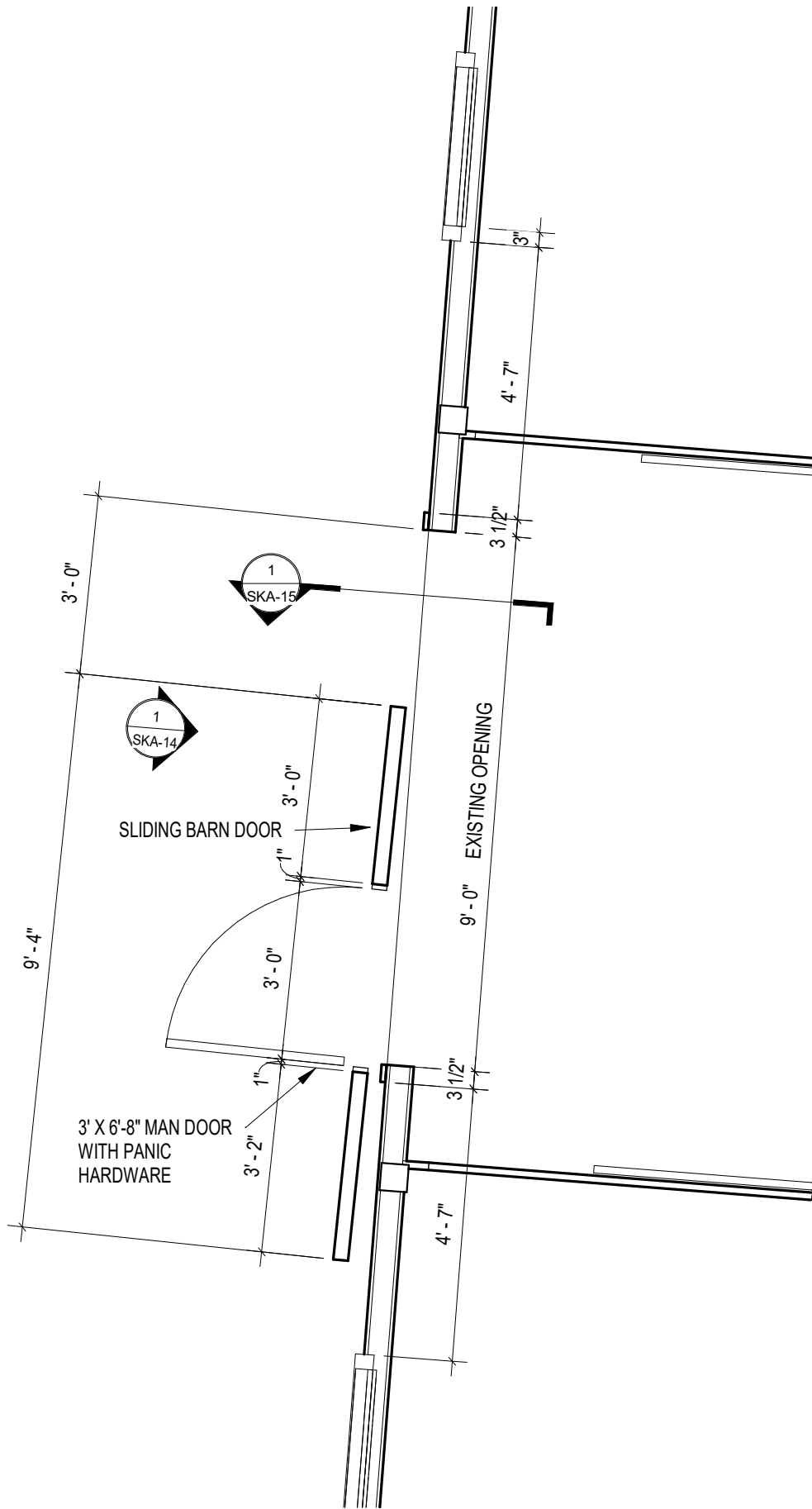
Scale: 3/32" = 1'-0"

Drawn By: JTG

Job No.: 17001.00

Date: 5/27/2019 4:28:35 PM

1 ACCESSIBLE MEANS OF EGRESS
 3/8" = 1'-0"

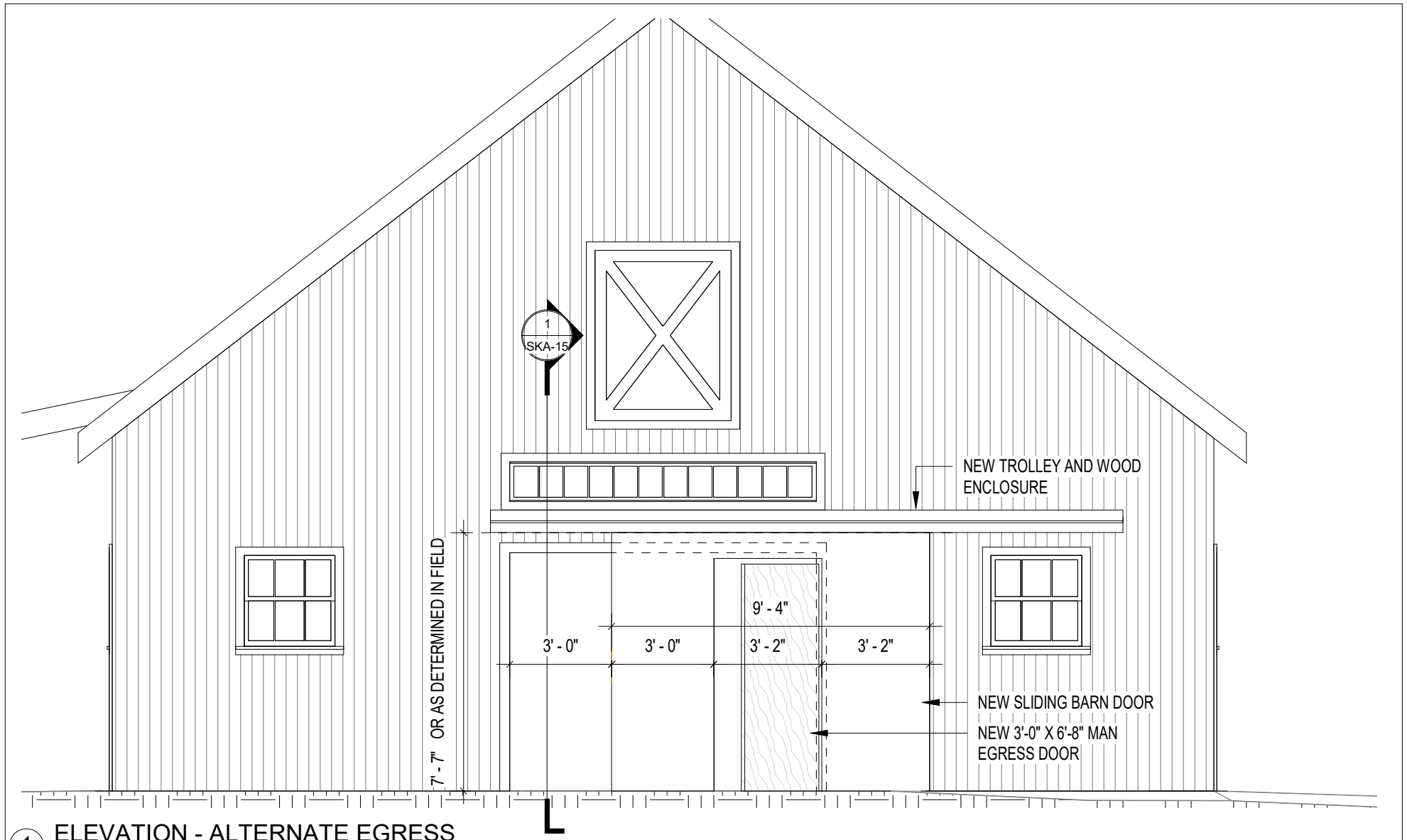


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SKETCH NUMBER: SKA-13
 SHEET REF: ENLARGED PLAN AT ALTERNATE EGRESS DOR


Wildstar Farm
 Wildstar Farm Equestrian Facility
 16 Nason Hill Lane
 Sherborn, MA.
 Michael Newman and Polly Kornblith

Scale: 3/8" = 1'-0"
 Drawn By: JTG
 Job No.: 17001.00
 Date: 5/27/2019 4:27:36 PM



1 ELEVATION - ALTERNATE EGRESS
 1/4" = 1'-0"

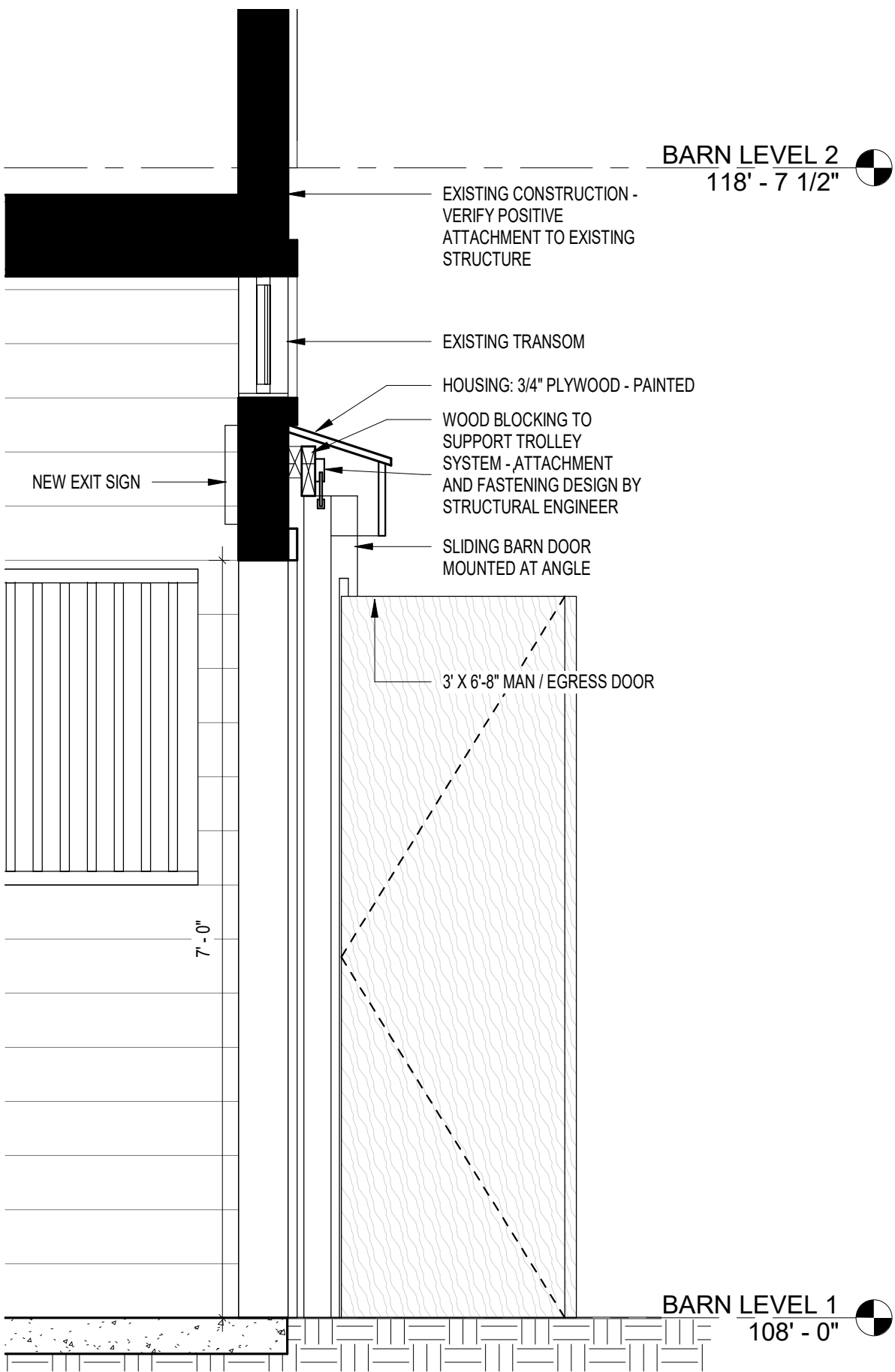
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SKETCH NUMBER: SKA-14
 SHEET REF: ELEVATION AT ALTERNATE EGRESS DOOR



Wildstar Farm Equestrian Facility
 16 Nason Hill Lane
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Scale: 1/4" = 1'-0"
 Drawn By: JTG
 Job No.: 17001.00
 Date: 5/27/2019 4:29:30 PM



Scale: 3/4" = 1'-0"
 Drawn By: JTG
 Job No.: 17001.00
 Date: 5/27/2019 4:24:11 PM

Wildstar Farm Equestrian Facility
 16 Nason Hill Lane
 Sherborn, MA.
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SKETCH NUMBER: SKA-15
 SHEET REF: Unnamed

1 SECTION THROUGH NEW SLIDING DOOR
 3/4" = 1'-0"



SERIES

640
641



INDUSTRY LEADING
COMMERCIAL & INDUSTRIAL SOLUTIONS

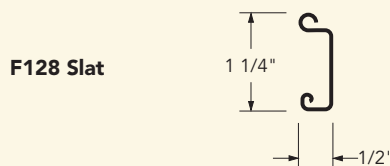
Standard Features At a Glance

- Available with UL and FM (optional) 3-hour Class A labels for masonry fire walls
- Available with a UL 1 1/2-hour Class B label for applications in non-masonry fire walls of dry wall with wood, steel studs, or steel tube jambs
- NFPA-80 compliant
- Fusible link separates at 165°F (74°C) to automatically close the door
- Governor controls rate of door descent during a fire
- Compact box guide design for an attractive appearance
- Upward-expanding guide design for flush to countertop installation
- Flat slat curtain design in primed galvanized steel finish (640 Series) or No. 4 stainless steel finish (641 Series)
- Slide bolt locking on push-up/crank
- Maximum door sizes: face of wall – 14' 0" x 10' 0" (masonry & non-masonry); between jambs – 12' 11-1/4" x 11' 2-9/16" (masonry only), 10' 10" x 10' 10" (non-masonry)

Options

- Flame baffle system (required for optional FM label)
- Fire Sentinel® time-delay release device
- FireLite® vision lites in 3- and 1 1/2-hour curtains
- Firestop® fire-resistant core countertops surfaced with the most popular brands of decorative laminates
- UL-listed brush-type smoke seals
- Photoelectric or ionization-type smoke detectors
- Crank or electric operation
- Electric operation does not require tension reset after drop test or closure due to power loss
- Powder-coat paint finish offered in 197 custom colors, or color-matched to architect's specification
- 20 minute UL smoke label on 640/641 doors up to 12'0" wide x 10'0" high opening

Slat Data



Series	Slat	Opening Width	Standard
640	F128	Thru 14'0" (4267 mm)	22 ga.
641	F128	Thru 14'0" (4267 mm)	22 ga. ss

Slats are galvanized and painted or stainless steel (ss).

640 and 641 Series. A Stylish C

The 640 and 641 Series doors are ideal for openings requiring a counter-type fire-rated door. Common applications include factories, schools, concessions, hospitals, cafeterias and retail settings. Labeled with either a 3-hour Class A rating for masonry applications, or a 1 1/2-hour Class B label in non-masonry fire walls, these doors are designed to expand upward in a fire, allowing the guides to be installed flush with the sill. Series 640 and 641 counter fire doors are UL approved and can be custom designed for conveyor openings. Their compact, box-like form also provides an attractive finished appearance that requires minimum side room. The 640 Series has exposed components made of primed galvanized steel while the 641 Series exposed components are of stainless steel. A host of standard and optional features further enhance performance of these doors for fire-rated applications.

Built-In Safety.

The 640/641 Series doors feature fusible links. These links separate at 165°F (74°C) for ambient conditions under 100°F (38°C), or at 212°F (100°C) for ambient conditions over 100°F (38°C), to close the door automatically under governor control. These doors meet strict fire safety testing standards, including New York City (MEA) and State of California (CSFM) requirements.

Options for Added Safety and Simplified Operation.

An array of options allows the 640 and 641 Series to be adapted to virtually any job requirement. UL-listed FireLite® vision lites in 3-, and 1 1/2-hour labels allow visual access and light infiltration. UL-listed brush-type smoke seals enhance smoke retardation properties. The choice of a crank or electric operator simplifies door operation. The doors can also be custom-designed for conveyor openings. A variety of smoke detectors, including photoelectric or ionization-type detectors, are also available when the door is equipped with the Fire Sentinel® release device.





Counterpart to Safety for Fire-Rated Applications.



Shown with optional flame baffle for FM

Fire Sentinel® for Fail-Safe Protection.

The Fire Sentinel® is a UL-listed, fail-safe device. This time-delay release mechanism provides a 10-second time-delay release as well as an independent 10-second time delay on power loss to control the closure of the door after an alarmed event while eliminating false closures due to momentary power outages. An intelligent operation feature on some models recognizes an already-closed door to prevent damage to the release mechanism. Fire Sentinel® is available with a battery back-up, strobe/sounder alarms and programmable multilingual enunciators to provide advanced protection against fire.

The Choice of Galvanized or Stainless Steel.

Whether you opt for a 22-gauge galvanized steel (640 Series) or a 22-gauge stainless steel (641 Series), these doors deliver

unsurpassed strength, durability and aesthetic appeal. The 640 Series features a flat interlocking steel curtain that is factory-finished with a rust-inhibited roll coating process that incorporates a baked-on primer and polyester top coat to eliminate field painting and improve finish life. The 641 Series' stainless steel slats are offered with a No. 4 finish for long-lasting good looks.

Fire-Rated Countertop for Integrated Design.

The 640 and 641 Series are available with a 1 1/2-hour rated countertop that allows you to coordinate design details with an added measure of safety against fire. The fire-rated countertop features a fire-resistant core and is available in a variety of decorative laminate finishes.

The Original, Innovative Choice for Unequalled Quality and Service

Overhead Door Corporation pioneered the upward-acting door industry, inventing the first upward-acting door in 1921 and the first electric door operator in 1926. Today, we continue to be the industry leader through the strength of our product innovation, superior craftsmanship and outstanding customer support, underscoring a legacy of quality, expertise and integrity. That's why design and construction professionals specify Overhead Door Corporation products more often than any other brand.

The red Overhead Door Ribbon is a mark of quality that also reflects the pride we take in the people who support our products. Our family of over 450 Ribbon Distributors across the country not only share our name and logo, but also our commitment to excellence. Your Ribbon Distributor will work with you in a consultative role to ensure that product selections achieve your design and application requirements — in addition to offering expert installation, professional field service and ongoing maintenance. From project design and manufacturing to installation and service, the Overhead Door Ribbon is your guarantee of genuine quality and turnkey service excellence.

Together with our Ribbon Distributors, we offer comprehensive technical information and resource materials to support your project, including:

- Architectural Design Manual – a comprehensive guide to selecting, specifying and detailing all commercial and industrial Overhead Door products
- Sweet's Catalog for selection information about our products, and Sweet's CD and CD-CAD for convenient electronic product information, technical specifications, and details with CAD "cut-and-paste" capability
- Operation & Maintenance Manual – detailed product information, customized for your project, to ensure reliable, long-life door system operation
- Custom application and technical assistance through ordering plants' customer service and technical services respectively
- Visit our Architect's Corner at www.OverheadDoor.com



Advanced Rolling Steel Door
RapidSlat®



Thermacore® Sectional Doors



Rolling & Side Folding
Security Grilles & Closures



Rolling Service Doors



Commercial Operators

Today, Overhead Door Corporation—along with our Horton Automatics division, for automated pedestrian entrances—is recognized as the leading, single-source manufacturer of integrated door and operator systems for commercial, industrial and residential applications. With multiple manufacturing locations throughout the United States, a state-of-the-art TREQ (Testing, Reliability, Engineering, and Quality) Center for design and engineering, and a national network of authorized Ribbon Distributors, our capabilities are leading-edge and our field service and technical support second to none. Built best and backed best, Overhead Door is the industry's leading choice for quality that shows and lasts.

To talk with the Overhead Door distributor nearest you, call 1-800-929-DOOR.

Overhead Door Corporation

2501 S. State Hwy. 121 Bus., Suite 200

Lewisville, Texas 75067

1-800-929-DOOR

www.OverheadDoor.com



INDUSTRY LEADING
COMMERCIAL & INDUSTRIAL SOLUTIONS

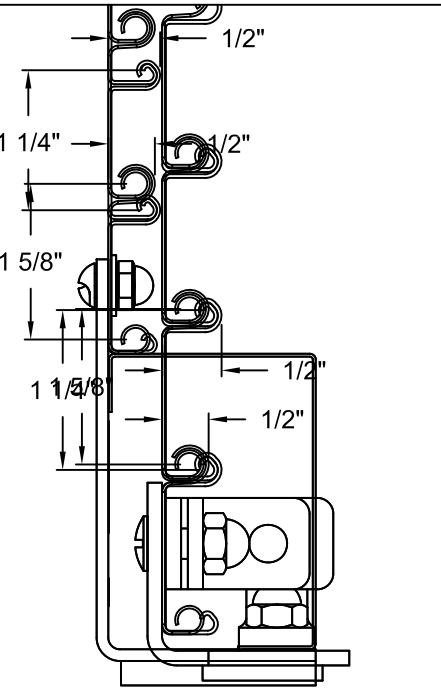
The Overhead Door Corporation family of quality commercial and industrial products includes:



A part of Sanwa Holdings Corporation

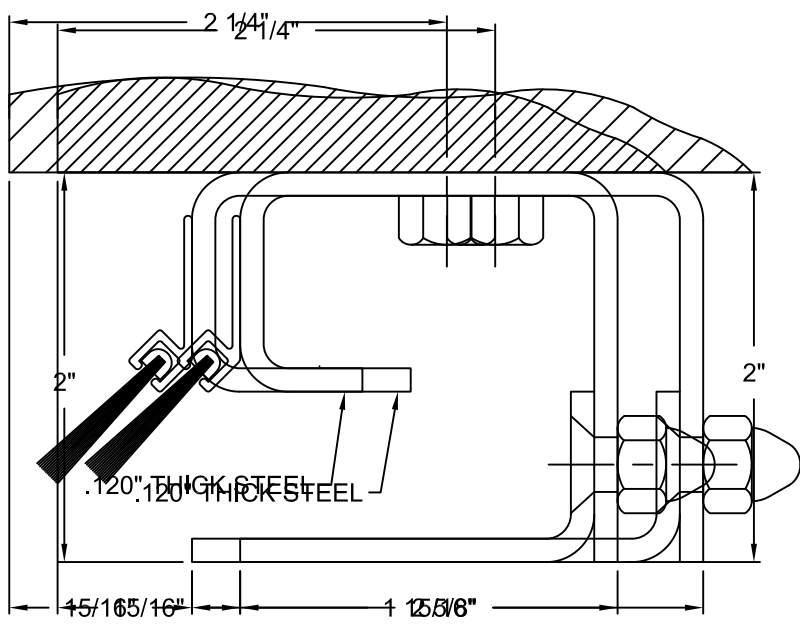
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MOTOR UNIT:
 CONSTANT CONTACT WITH GOVERNOR OR MOMENTARY CONTACT CDX MOTOR OPERATOR. LIMIT LOCK™ PRESS TO SET LIMIT SWITCHES. ELECTRONIC MOTOR CONTROL WITH LCD DISPLAY, DELAY ON REVERSE & MAXIMUM RUN TIMER. HIGH STARTING TORQUE MOTOR WITH AUTOMATIC RESET THERMAL OVERLOAD OPERATOR RATED AT 5 CYCLES PER HOUR. #106647 BRUSH BUTTON STATION (OPEN/CLOSE/STOP).

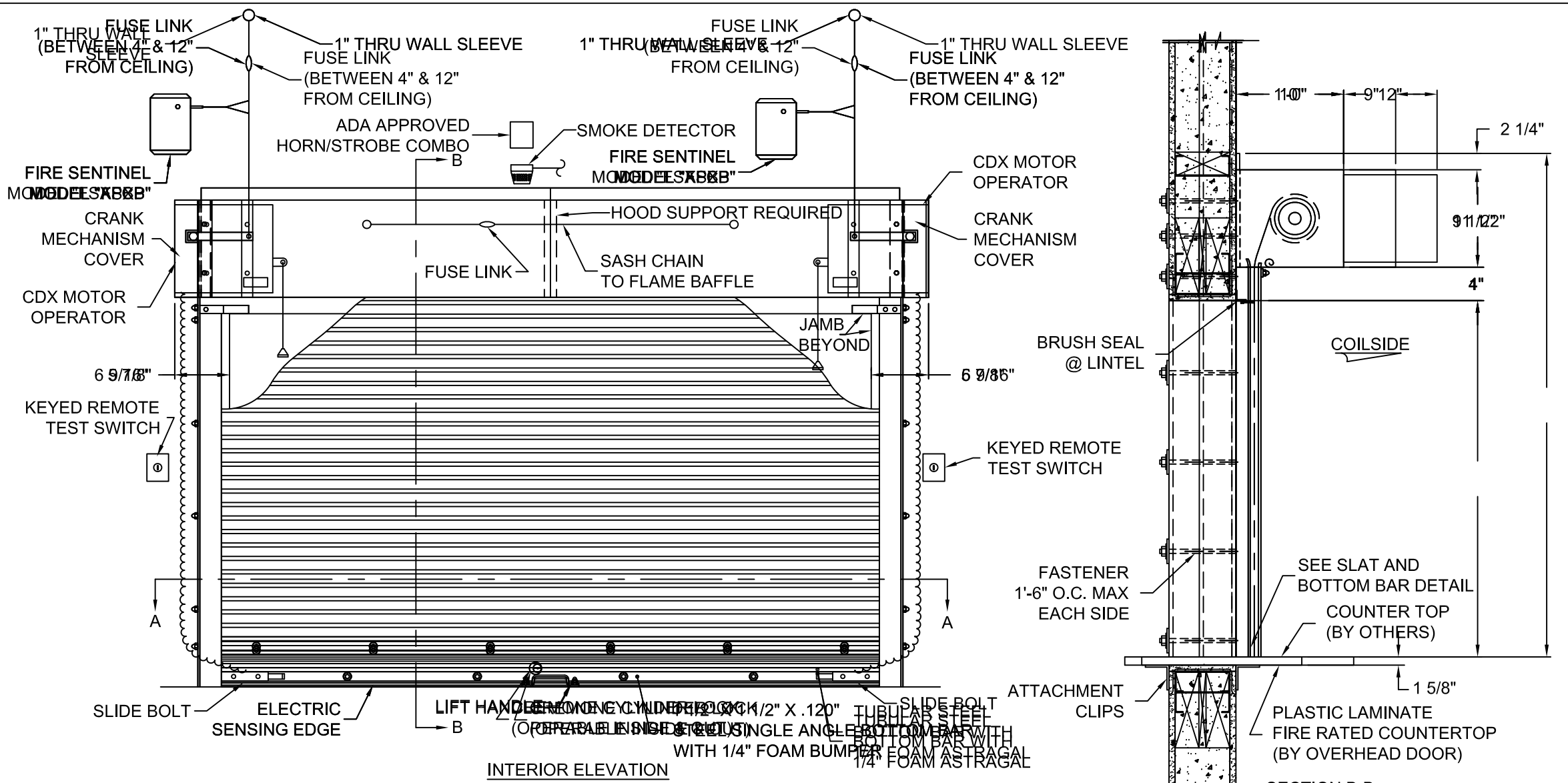


F128 SLAT AND BOTTOM BAR DETAIL

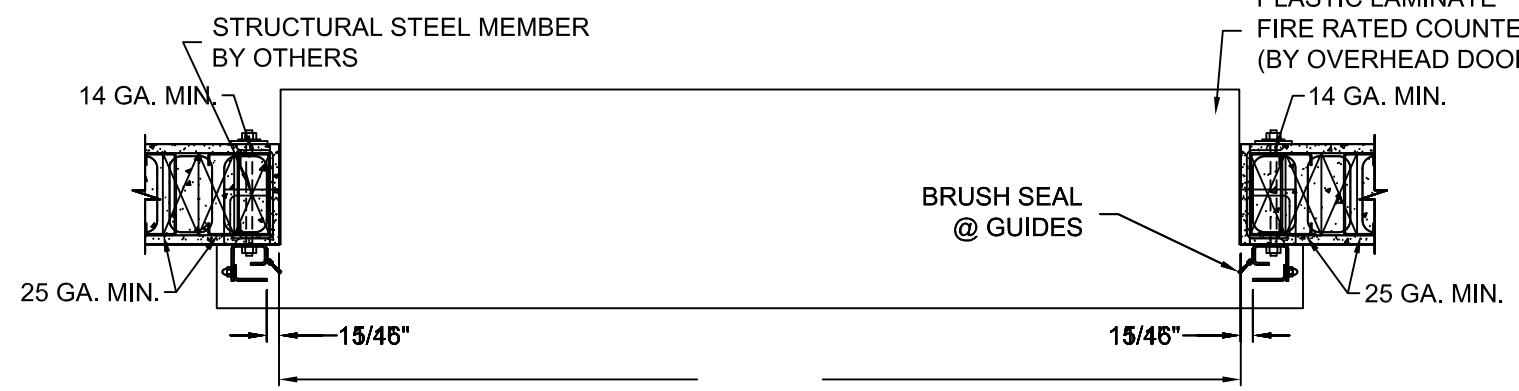
POLE AND DETAIL



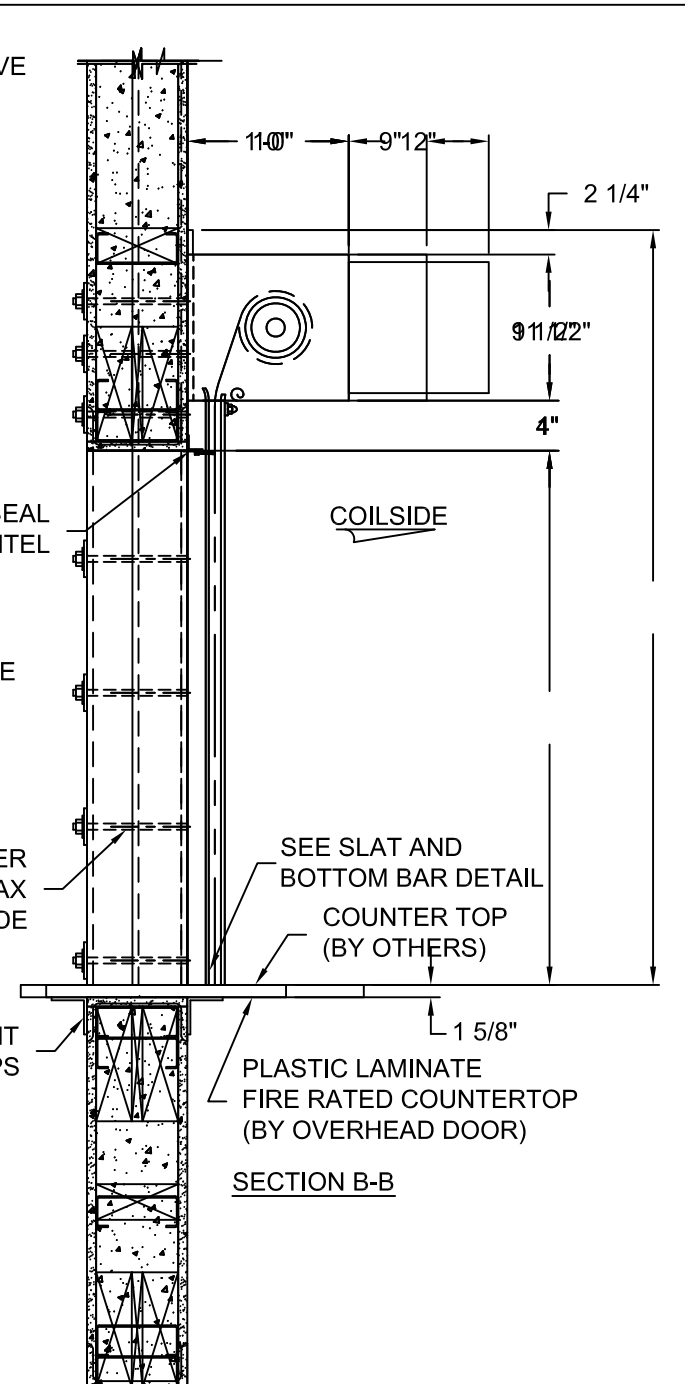
GUIDE DETAIL



INTERIOR ELEVATION



SECTION A-A



SECTION B-B

COUNTERTOP NOTES
 SPECIFY COUNTERTOP LAMINATE

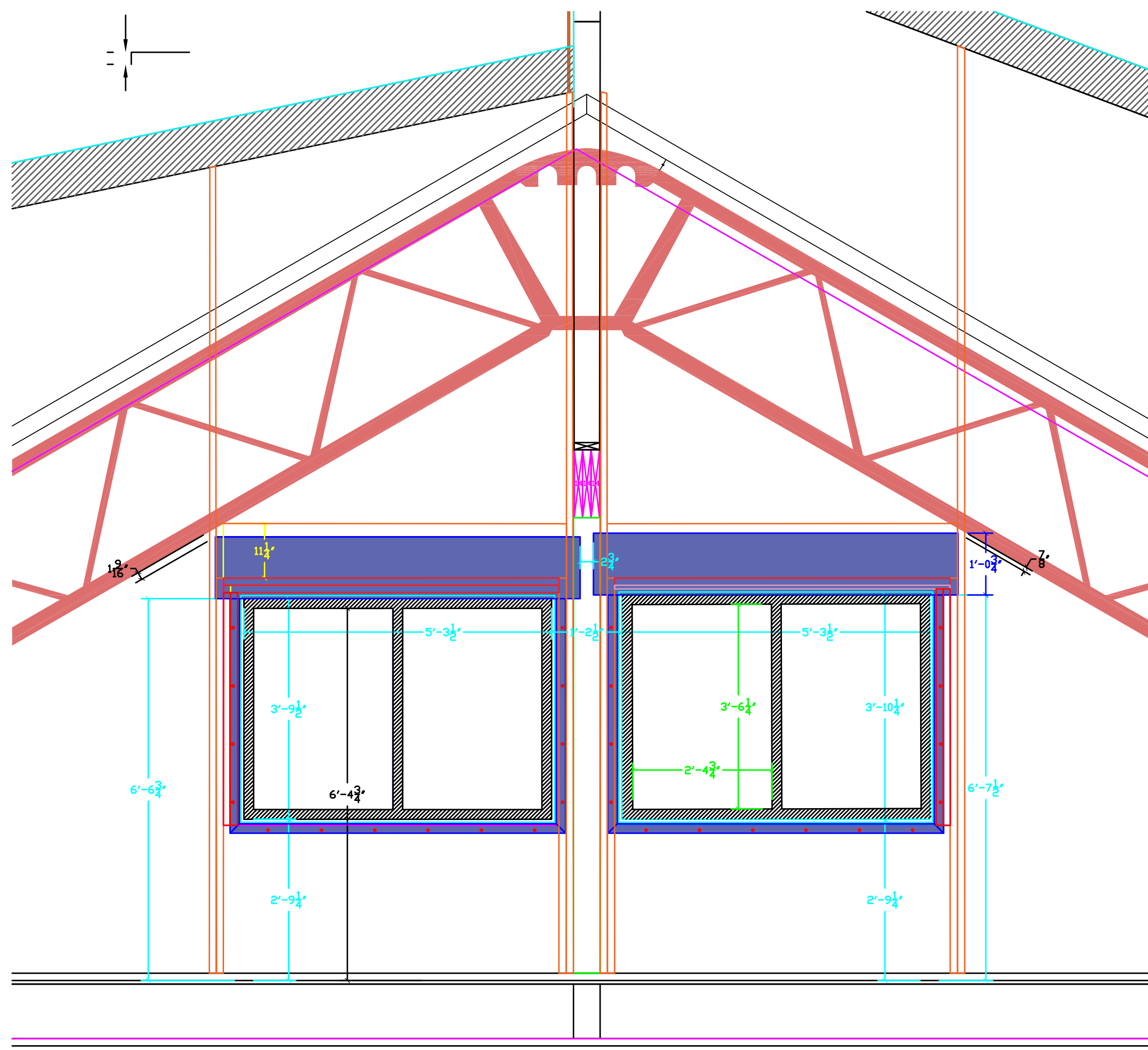
MANUFACTURER
MANUFACTURER COLOR NAME
MANUFACTURER COLOR NUMBER

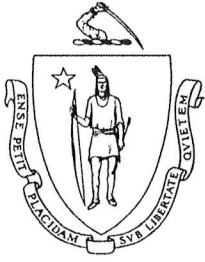
DOOR MARK	QTY	OPENING SIZE		OPERATION
		WIDTH	HEIGHT	
				PCSDMP

MATERIAL AND FINISH	
HOOD	24 GA. G40301SS STEEL
CURTAIN	22 GA. G40301SS STEEL
GUIDES	11 GA. 16341SS STEEL
BOTTOM BAR	FORMED ANGLE STEEL 1.5" X 1.20" G40301SS STEEL

NOTES :

640 COUNTER FIRE DOOR FACE OF WALL MOUNTED PROJECT		
ARCHITECT		
CONTRACTOR		
DISTRIBUTOR		
PLANT		
DIST. DWG. NO.	DATE:	The Genuine. The Original. OVERHEAD DOOR
SHEET	BY:	





Initial Construction Control Document

To be submitted with the building permit application by a

Registered Design Professional

for work per the 8th edition of the

Massachusetts State Building Code, 780 CMR, Section 107

Project Title: Wildstar Farm Equestrian Facility Date: 12/28/17

Property Address: 16 Nason Hill Lane Sherborn, MA. 01770

Project: Check one or both as applicable: New construction Existing Construction

Project description: Construction of barn portion of work, type VB construction, on existing concrete foundation (permitted earlier). Work includes stalls, toilet room, laundry room, tack room, office and handicapped-ramp to existing arena. Apartment portion of the work will be at a later date.

I James T. Guarino MA Registration Number: 50778 Expiration date: 08/31/18, am a *registered design professional*, and I have prepared or directly supervised the preparation of all design plans, computations and specifications concerning:

- Architectural
- Structural
- Mechanical
- Fire Protection
- Electrical
- Other _____

for the above named project and that to the best of my knowledge, information, and belief such plans, computations and specifications meet the applicable provisions of the Massachusetts State Building Code, (780 CMR), and accepted engineering practices for the proposed project. I understand and agree that I (or my designee) shall perform the necessary professional services and be present on the construction site on a regular and periodic basis to:

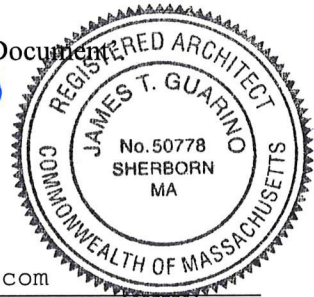
1. Review, for conformance to this code and the design concept, shop drawings, samples and other submittals by the contractor in accordance with the requirements of the construction documents.
2. Perform the duties for registered design professionals in 780 CMR Chapter 17, as applicable.
3. Be present at intervals appropriate to the stage of construction to become generally familiar with the progress and quality of the work and to determine if the work is being performed in a manner consistent with the approved construction documents and this code.

Nothing in this document relieves the contractor of its responsibility regarding the provisions of 780 CMR 107.

When required by the building official, I shall submit field/progress reports (see item 3.) together with pertinent comments, in a form acceptable to the building official.

Upon completion of the work, I shall submit to the building official a 'Final Construction Control Document'

Enter in the space to the right a "wet" or electronic signature and seal:



Phone number: 617-699-0991

Email: jim@jamestguarino.com

Building Official Use Only

Building Official Name: _____ Permit No.: _____ Date: _____

AIA® Document G704™ – 2017

Certificate of Substantial Completion

CONTRACT DATE

PROJECT: *(name and address)*

Wildstar Farm Equestrian Fac.
Sherborn, MA

OWNER: *(name and address)*

Polly Kornblith Michael Newman
16 Nason Hill Lane
Sherborn, MA. 01770

CONTRACT INFORMATION:

Contract For: Construction of Barn / Arena
Date:

ARCHITECT: *(name and address)*

James T. Guarino, AIA
60 North Main Street
Sherborn, MA. 01770

CERTIFICATE INFORMATION:

Certificate Number:
Date: July 29, 2019

CONTRACTOR: *(name and address)*

McLaughlin Construction
5 Oakhurst Rd
Hopkinton, MA. 01748

PLEASE ADVISE IF THIS IS DATE OF SUBSTANTIAL COMPLETION

The Work identified below has been reviewed and found, to the Architect's best knowledge, information, and belief, to be substantially complete. Substantial Completion is the stage in the progress of the Work when the Work or designated portion is sufficiently complete in accordance with the Contract Documents so that the Owner can occupy or utilize the Work for its intended use. The date of Substantial Completion of the Project or portion designated below is the date established by this Certificate. *(Identify the Work, or portion thereof, that is substantially complete.)*

James T. Guarino Consultin
ARCHITECT *(Firm Name)*

SIGNATURE

James T. Guarino, Architect
PRINTED NAME AND TITLE

July 24, 2019
DATE OF SUBSTANTIAL COMPLETION

WARRANTIES

The date of Substantial Completion of the Project or portion designated above is also the date of commencement of applicable warranties required by the Contract Documents, except as stated below: *(Identify warranties that do not commence on the date of Substantial Completion, if any, and indicate their date of commencement.)*

PLEASE ADVISE

WORK TO BE COMPLETED OR CORRECTED

A list of items to be completed or corrected is attached hereto, or transmitted as agreed upon by the parties, and identified as follows: *(Identify the list of Work to be completed or corrected.)*

PLEASE ADVISE

The failure to include any items on such list does not alter the responsibility of the Contractor to complete all Work in accordance with the Contract Documents. Unless otherwise agreed to in writing, the date of commencement of warranties for items on the attached list will be the date of issuance of the final Certificate of Payment or the date of final payment, whichever occurs first. The Contractor will complete or correct the Work on the list of items attached hereto within () days from the above date of Substantial Completion.

Cost estimate of Work to be completed or corrected: \$

The responsibilities of the Owner and Contractor for security, maintenance, heat, utilities, damage to the Work, insurance, and other items identified below shall be as follows: *(Note: Owner's and Contractor's legal and insurance counsel should review insurance requirements and coverage.)*

PLEASE ADVISE PLEASE ADVISE

The Owner and Contractor hereby accept the responsibilities assigned to them in this Certificate of Substantial Completion:

McLaughlin Construction
CONTRACTOR *(Firm Name)*

SIGNATURE

PRINTED NAME AND TITLE

July 24, 2019
DATE

Wildstar Farm
OWNER *(Firm Name)*

SIGNATURE

PRINTED NAME AND TITLE

July 24, 2019
DATE

PLEASE CONFIRM